

**PARK PLACE  
COMMUNITY DEVELOPMENT DISTRICT  
BOARD OF SUPERVISORS  
REGULAR MEETING  
NOVEMBER 16, 2022**

**PARK PLACE  
COMMUNITY DEVELOPMENT DISTRICT AGENDA**

**Wednesday, November 16, 2022**

**11:00 a.m.**

The Lake House

Located at 11740 Casa Lago Lane, Tampa, FL 33626

|                                      |                        |                     |
|--------------------------------------|------------------------|---------------------|
| <b>District Board of Supervisors</b> | Chairman               | David Levy          |
|                                      | Vice-Chairman          | Cathy Kinser-Powell |
|                                      | Supervisor             | Doris H Cockerell   |
|                                      | Supervisor             | Andrea Jackson      |
|                                      | Supervisor             | Erica Lavina        |
| <b>District Manager</b>              | Inframark              | Angie Grunwald      |
| <b>District Attorney</b>             | Straley Robin Vericker | John Vericker       |
| <b>District Engineer</b>             | Johnson Engineering    | Phil Chang          |

***All cellular phones and pagers must be turned off while in the meeting room***

The Regular Meeting will begin **11:00 a.m.** Following with the **Business Items** section contains items for approval by the District Board of Supervisors that may require discussion, motion and votes on an item-by-item basis. If any member of the audience would like to speak on one of the business items, they will need to register with the District Administrator prior to the presentation of that agenda item. Agendas can be reviewed by contacting the Manager's office at (813) 873-7300 at least seven days in advance of the scheduled meeting. Requests to place items on the agenda must be submitted in writing with an explanation to the District Manager at least fourteen (14) days prior to the date of the meeting. The ninth section is called **Administrative Matters**. The Administrative Matters section contains items that require the review and approval of the District Board of Supervisors as a normal course of business. The tenth section is called **Staff Reports**. This section allows the District Administrator, Engineer, and Attorney to update the Board of Supervisors on any pending issues that are being researched for Board action. The final sections are called **Board Members Comments and Public Comments**. This is the section in which the Supervisors may request Staff to prepare certain items in an effort to meet residential needs. The Audience Comment portion of the agenda is where individuals may comment on matters that concern the District. Each individual is limited to **three (3) minutes** for such comment. The Board of Supervisors or Staff is not obligated to provide a response until sufficient time for research or action is warranted. IF THE COMMENT CONCERNS A MAINTENANCE RELATED ITEM, THE ITEM WILL NEED TO BE ADDRESSED BY THE DISTRICT ADMINISTRATOR OUTSIDE THE CONTEXT OF THIS MEETING.

Public workshops sessions may be advertised and held in an effort to provide informational services. These sessions allow staff or consultants to discuss a policy or business matter in a more informal manner and allow for lengthy presentations prior to scheduling the item for approval. Typically, no motions or votes are made during these sessions.

Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations to participate in this meeting is asked to advise the District Office at (813) 873-7300, at least 48 hours before the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service at 1 (800) 955-8770, who can aid you in contacting the District Office.

Any person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that this same person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which the appeal is to be based.



Board of Supervisors  
**Park Place Community Development District**

Dear Board Members:

The Regular Meeting s of the Park Place Community Development District will be held on **November 16, 2022, at 11:00 a.m.** at The Lake House, located at 11740 Casa Lago Lane, Tampa, FL 33626. **Please let us know 24 hours before the meeting if you wish to call in for the meeting.** Following is the agenda for the meeting:

**Call In Number: 1-866-906-9330**

**Access Code: 9074748#**

**1. CALL TO ORDER/ROLL CALL**

**2. PUBLIC COMMENT ON AGENDA ITEMS**

**3. VENDOR/STAFF REPORTS**

- A. District Engineer
- B. District Counsel
- C. Landscape Vendor – Tim Bowersox with Yellowstone Landscape
- D. Landscape Architect – Celia Nichols -Wall Projections ..... Tab 01
- E. District Manager ..... Tab 02
  - i. Aquatics & Fountains Report
  - ii. Community Inspection Report
  - iii. Manager’s Report

**4. BUSINESS ITEMS**

- A. Consideration of Resolution 2023-01; Adopting Amended FY 2021-2022 Budget..... Tab 03

**5. CONSENT AGENDA**

- A. Consideration of Board of Supervisors Regular Meeting Minutes October 19, 2022, ..... Tab 04
- B. Consideration of Operations and Maintenance Expenditures October 2022 ..... Tab 05
- C. Review of Financials Statements Month Ending October 31, 2022, ..... Tab 06

**6. SUPERVISOR REQUESTS**

**7. AUDIENCE QUESTIONS, COMMENTS AND DISCUSSION FORUM**

**8. ADJOURNMENT**

We look forward to seeing you at the meeting. In the meantime, if you have any questions, please do not hesitate to call us at (813) 873-7300.

Sincerely,  
Angie Grunwald  
District Manager



# PARK PLACE CDD - ENHANCEMENT PROJECT

## WINDSOR PLACE, MANDOLIN RESERVE & MANDOLIN ESTATES

SECTION 8, TOWNSHIP 28 SOUTH, RANGE 17 EAST  
HILLSBOROUGH COUNTY, FLORIDA

## CONSTRUCTION PLANS

ISSUED FOR PERMITTING -CLIENT REVIEW #2

PREPARED FOR:



**Park Place CDD**  
**C/O Inframark, LLC**  
**2005 Pan Am Circle Suite 300**  
**Tampa, FL 33607**

PREPARED BY:

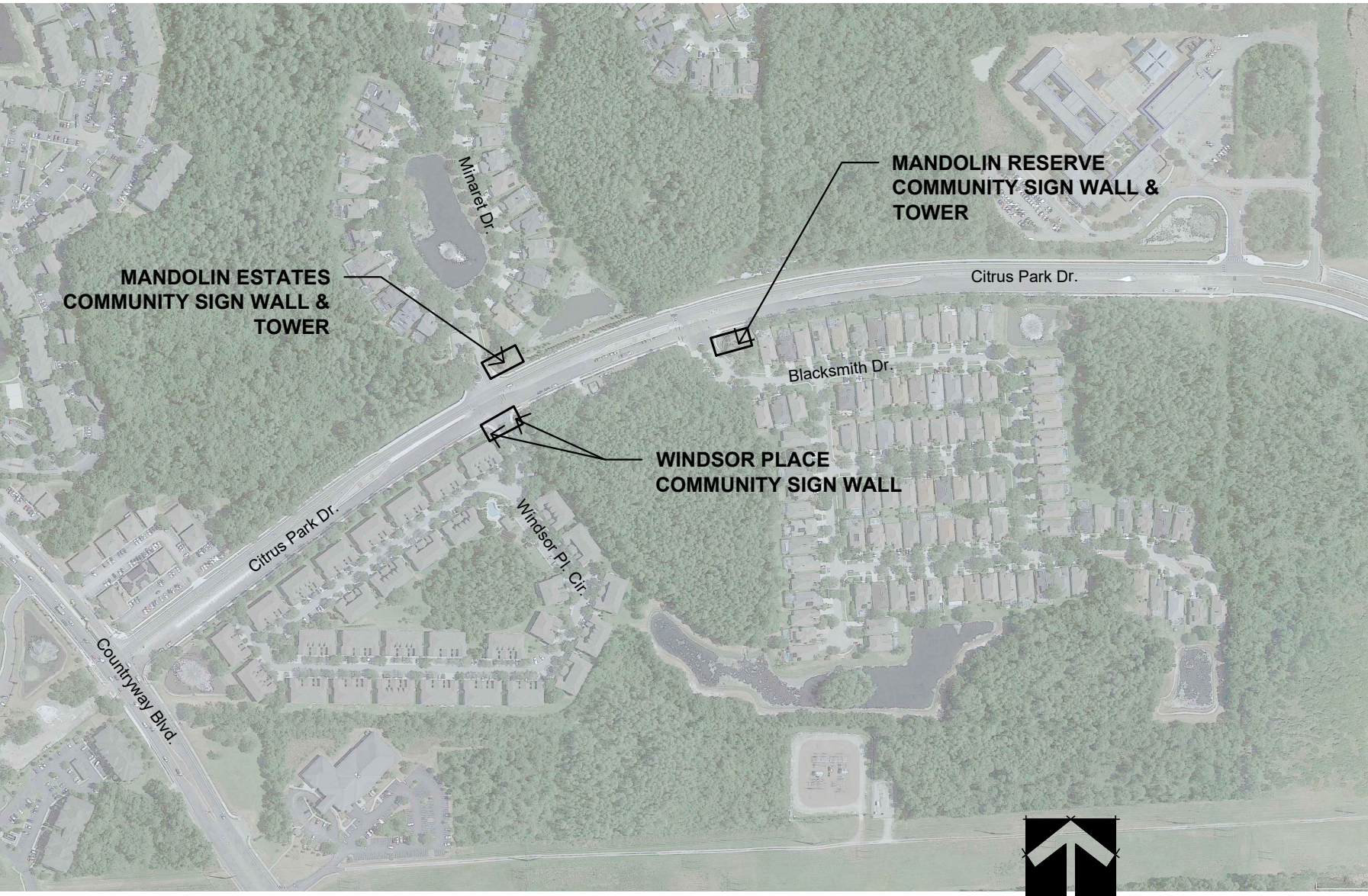


**NICHOLS**  
LANDSCAPE ARCHITECTURE  
18115 N US Highway 41, Suite 100  
Lutz, FL 33549  
813.948.8810 o. 877.246.3714 f.

813.298.8880 c.  
www.nichols-la.com  
celia@nichols-la.com  
LC26000399

**LANDSCAPE ARCHITECT:**  
**NICHOLS Landscape Architecture, Inc.**  
18115 N US Highway 41, Suite 100  
Lutz, FL 33549  
Ph: (813) 948-8810 x1001  
Attn: Celia R. Nichols, P.L.A., ASLA

**OWNER:**  
**PARK PLACE CDD**  
**c/o Inframark**  
2005 PAN AM CIRCLE, STE. 300  
Tampa, FL 33607  
Attn: Angie Grunwald



PROJECT LOCATION MAP

NOT TO SCALE

**SITE DATA:**

LOCATION: COUNTRY WAY BLVD. & CITRUS PARK DR.  
CURRENT ZONING: PLANNED DEVELOPMENT (PD)  
ADJACENT ZONING: PD & AS-1

CONTRACTOR TO CALL 811  
PRIOR TO STARTING WORK



**Know what's below.**  
**Call before you dig.**

**PLAN INDEX**

| SHEET NAME (REFERENCE)   | SHEET NO.    |
|--|--------------|
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| MANDOLIN RESERVE FRONTAGE & ENTRANCE SURVEY                          | SS-3         |
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| MANDOLIN RESERVE ENTRANCE TREE REMOVAL & PROTECTION PLAN             | T-3          |
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| WINDSOR PLACE SIGN AND WALL (INCL. RESERVE) CONSTRUCTION DETAILS     | HD-1A        |
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| LANDSCAPE CONSTRUCTION DETAILS                                       | LD-1         |
| IRRIGATION PERFORMANCE SPECIFICATION                                 | I-1          |
| IRRIGATION CONSTRUCTION PLANS  | IR-1 TO IR-6 |

**PERMITTING & BID NOTES:**

- 1.) The design is within the ROW and Landscape Easement only.
- 2.) Bidder shall visit the site to verify site conditions i.e., demolition work, electrical (power) and ease of access, etc. before bidding.
- 3.) Bidder shall provide a schedule for construction at time of bid, and include milestones.
- 4.) All proposed items in the bid shall be broken down and itemized per standard CSI format.
- 5.) Bid shall include a one ( 1 ) year warranty of all material and construction work.
- 6.) Contract Documents shall be noted as fully included in the bid amount. Provide this note in writing on your bid form.
- 7.) Bidder shall provide Meritus with "Umbrella" coverage for Insurance per project requirements.
- 8.) Folio # 3526.000, 3528.0100, TRACTS D, E & F.
- 9.) Irrigation system is existing. System to be modified per the Irrigation Performance Specification on sheet I-1.

Celia R. Nichols, PLA, ASLA  
LA0001518

Sign and Seal Date

|                 |          |
|-----------------|----------|
| SUBMITTAL DATE: | 11-25-22 |
| DRAWN BY:       | CRN / SG |
| QA/QC:          | CRN      |
| JOB NO:         | PP21.1.2 |





**NICHOLS**  
LANDSCAPE ARCHITECTURE

18115 N US Highway 41, Suite 100  
Lutz, FL 33549  
813.948.8810 o. 877.246.3714 f.  
www.NICHOLS-LA.com

CLIENT:  
**PARK PLACE  
CDD c/o MERITUS**

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**KEY SHEET**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |

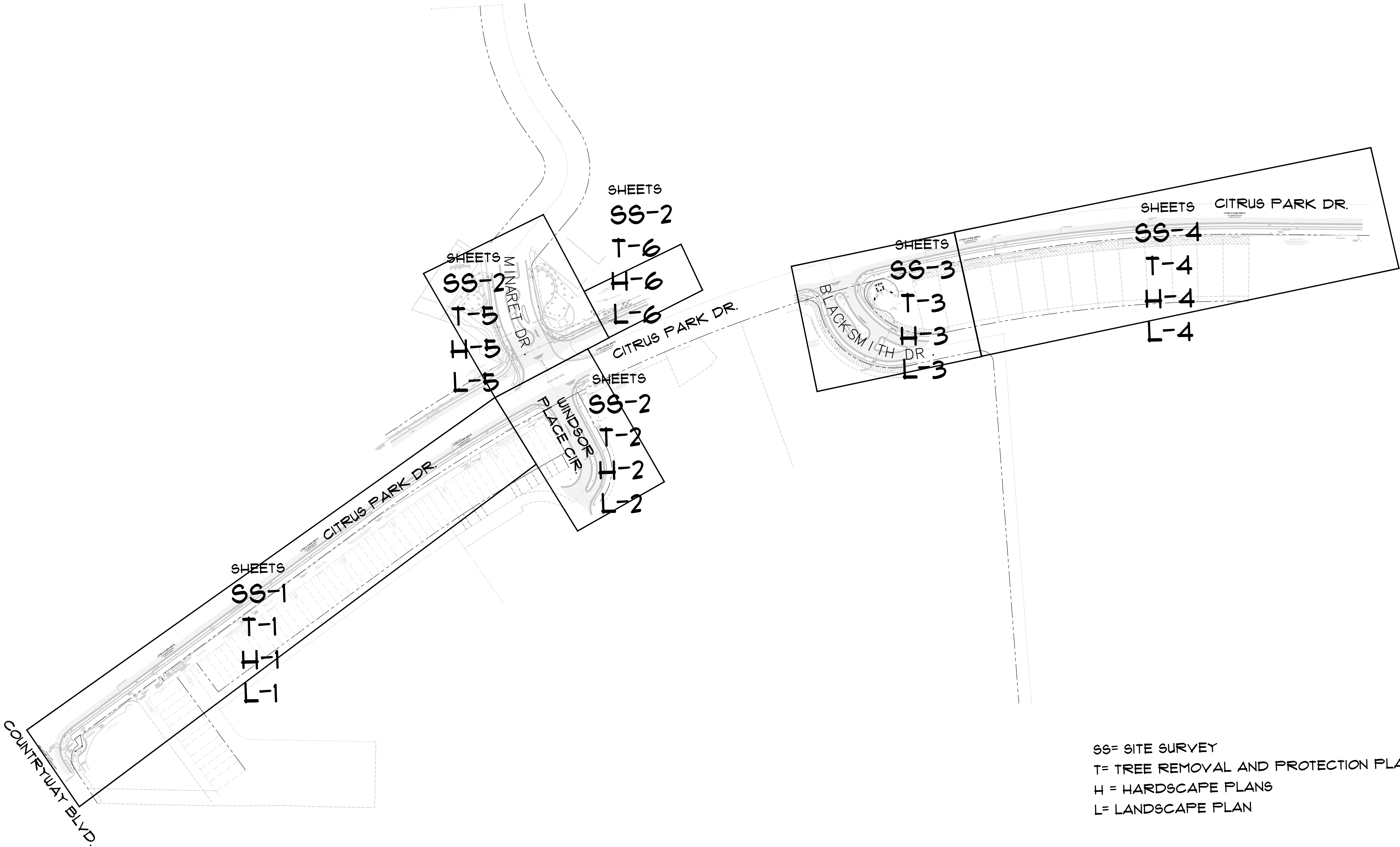
Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22  
DRAWN BY: SG  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**K-1**



SS= SITE SURVEY  
T= TREE REMOVAL AND PROTECTION PLANS  
H = HARDSCAPE PLANS  
L= LANDSCAPE PLAN

DISCLAIMER:  
NICHOLS LANDSCAPE ARCHITECTURE, INC. ASSUMES NO LIABILITY FOR ALTERATIONS AND/OR CONSTRUCTION THAT DOES NOT CONFORM TO THE DESIGN  
DEPICTED ON THIS PLAN. NO CHANGES MAY BE MADE TO THIS PLAN WITHOUT EXPRESS WRITTEN CONSENT OF NICHOLS LANDSCAPE ARCHITECTURE,  
INC. IF ANY DEVIATIONS ARE REQUIRED FOR ANY REASON, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT MANAGER IMMEDIATELY.



GENERAL HARDSCAPE NOTES:

1.

REFER TO THE CONSTRUCTION STAKING FOR THE LAYOUT OF THIS HARDSCAPE DESIGN WORK. POINT OF BEGINNING (P.O.B.) IS SHOWN ON EACH LAYOUT PLAN FOR EACH COMMUNITY AND ALL DIMENSIONS ARE LOCATED OFF OF THIS LOCATION.
2.

CONTRACTOR TO FIELD VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL EXISTING WATER MAINS, FORCE MAINS, ELECTRICAL LINES, FIBER OPTIC, TELEPHONE, CATV, AND SUBSURFACE UTILITIES, TO ENSURE THERE ARE NO CONFLICTS WITH PROPOSED CONSTRUCTION.
3.

THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND ALL OTHER UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN SUFFICIENT PROTECTION TO ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR (AT NO ADDITIONAL EXPENSE) TO A CONDITION EQUAL TO OR BETTER THAN BEFORE THE DAMAGE WAS DONE.
4.

THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION, AND BY EMAIL FOR ANY REQUESTED SITE VISITS.
5.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL PERTINENT PERMIT APPROVALS RELATED TO THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS AND ENSURE THAT ALL CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL REQUIRED PERMITS HAVE BEEN SECURED TO COMPLETE THE WORK DEPICTED IN THESE PLANS AT THE BEGINNING OF THE PROJECT. A COPY OF ALL PERMITS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION IN A WATERPROOF BUILDER'S BOX, INSTALLED AT THE WINDSOR PLACE MAIN ENTRANCE ON A 4X4 FT WOOD POST WITH THE BOX MOUNTED AT EYE LEVEL.
6.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ALL INSPECTIONS (48 HOURS IN ADVANCE) WITH THE COUNTY INSPECTOR AND NOTIFY THE LANDSCAPE ARCHITECT OF SAME.
7.

THE CONTRACTOR SHALL STOP WORK AND CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY UPON ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS.
8.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL NECESSARY CONSTRUCTION STAKING REQUIRED TO INSTALL THE IMPROVEMENTS SHOWN ON THESE DRAWINGS. HORIZONTAL CONTROL IS SHOWN ON THE HARDSCAPE PLAN. ALL DOCUMENTS, INCLUDING ORIGINAL DRAWINGS, FIELD NOTES, DATA AND REPORT ORIGINALS ARE AND SHALL REMAIN THE PROPERTY OF NICHOLS LANDSCAPE ARCHITECTURE AS AN INSTRUMENT OF SERVICE. IF REQUESTED IN WRITING, THE CONTRACTOR WILL BE PROVIDED WITH REPRODUCIBLE DRAWINGS AND OTHER DOCUMENTS IN CONSIDERATION OF WHICH THE CONTRACTOR AGREES TO USE THEM WITHOUT ALTERATION SOLELY IN CONNECTION WITH THE PROJECT.
9.

THE LANDSCAPE ARCHITECT SHALL BE CONSULTED TO MAKE ANY/ALL REQUIRED INTERPRETATIONS OF THE PLANS, HOWEVER, THIS IN NO WAY RELIEVES THE CONTRACTOR OF THEIR RESPONSIBILITY FOR CONSTRUCTING THE PROJECT TO ACCOMPLISH THE INTENT OF THE PLANS.
10.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY COUNTY/ FDOT ROAD/LANE CLOSURE PERMITS AND SHALL PREPARE MOT PLANS PER THEIR REQUIREMENTS AND STANDARDS.
11.

THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS, BARRICADES, AND FLAGMEN AS REQUIRED BY APPLICABLE COUNTY OR STATE REGULATIONS FOR CONSTRUCTION ADJACENT TO, OR IN THE PUBLIC RIGHT-OF-WAY.
12.

THE CONTRACTOR SHALL NOTIFY (GAIN APPROVAL OF) THE LOCAL POLICE DEPT. & THE LOCAL FIRE DEPARTMENT BEFORE CLOSING ANY STREET OR MAKING IT IMPASSABLE. INCLUDE A BARRICADE WITH SIGNAGE DEPICTING A SIDEWALK CLOSURE NOTE FOR ANY WALKS CLOSED. PLACE THIS BARRICADE AND SIGN AT EACH END, AS REQUIRED, TO KEEP PEDESTRIANS AND BICYCLISTS SAFE.
13.

BORINGS, COMPACTION, SITE PREPARATION AND FILL PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH THE DETAILS SPECIFIED IN THIS DRAWING SET, WRITTEN SPECIFICATIONS.
14.

ALL ON-SITE LABOR, MATERIALS AND METHODS OF INSTALLATION SHALL BE IN ACCORDANCE WITH THE MINIMUM LANDSCAPE ARCHITECTURE, ENGINEERING, ELECTRICAL AND CONSTRUCTION STANDARDS ADOPTED BY THE STATE AND COUNTY. THE CONTRACTOR SHALL FOLLOW THE LATEST EDITION OF THE FLORIDA BUILDING CODE.
15.

ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED BEFORE COMMENCING CONSTRUCTION UNLESS SPECIFICALLY EXEMPTED BY THE PLANS.
16.

CONTRACTOR TO MAKE PROVISIONS TO AVOID TRACKING DIRT AND CONSTRUCTION DEBRIS TO ROADWAY OR SIDEWALKS VIA TRUCK AND/ OR EQUIPMENT TIRES.
17.

METHODS OF CONTROLLING FUGITIVE DUST TO BE IN ACCORDANCE WITH COUNTY AND/OR F.D.O.T. STANDARDS AND THE PROJECTS N.P.E.S. PERMIT.
18.

EROSION AND SEDIMENTATION CONTROL TO REMAIN IN PLACE UNTIL ALL SITE CONSTRUCTION HAS BEEN COMPLETED AND APPROVED BY THE APPROPRIATE REGULATORY AGENCIES.
19.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF EROSION PROTECTION AND TREE PROTECTION OF ANY EXISTING OR NEWLY PLANTED TREES DURING CONSTRUCTION.
20.

INLETS AND INLET GRATES: INLETS AND INLET GRATES SHALL BE CHECKED BY CONTRACTOR WEEKLY DURING CONSTRUCTION FOR BLOCKAGE. ANY DEBRIS BLOCKING FULL FLOW THROUGH THE GRATE SHALL BE IMMEDIATELY REMOVED.
21.

ALL LANDSCAPE/ SODDED AREAS LEFT DISTURBED SHALL BE CLEANED UP AND REPLANTED/RESODDED TO MATCH EXISTING MATERIALS.

HARDSCAPE SITE PREPARATION NOTES:

1.

CONTRACTOR SHALL CALL SUNSHINE TO LOCATE UTILITIES PRIOR TO START OF WORK AT 811 OR VISIT WWW.CALL811.COM.
2.

PROPER TREE PROTECTION SHALL BE UTILIZED FOR TREES THAT WILL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. (REFER TO TREE PROTECTION NOTES AND DETAILS)
3.

CONTRACTOR TO ADHERE TO THE PROPOSED ELEVATIONS OF ALL SIDEWALKS, PAVING, CURBS, AND INLETS, ETC. AS SHOWN ON THESE PLANS.
4.

EXISTING WALKS/ CONSTRUCTION ACCESS/ SIDEWALKS SHALL BE ACCESSIBLE DURING CONSTRUCTION, UNLESS OTHERWISE APPROVED VIA FDOT/ COUNTY MOT PLAN.
5.

CONTRACTOR TO ENSURE THE PROTECTION OF ALL EXISTING UTILITIES INCLUDING EXISTING IRRIGATION METER, MAIN LINE, DISTRIBUTION, WIRING, AND VALVES. PROTECT EXISTING INLETS AND STORM DRAINS PER COUNTY AND SUFUMD RULES. REPORT ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION TO THE LANDSCAPE ARCHITECT PRIOR TO BID OR IMMEDIATELY AFTER N.T.P. DATE.
6.

PROTECTIVE TREE BARRICADES SHALL BE PLACED AROUND ALL PROTECTED TREES DURING SITE CLEARING TO CREATE A PROTECTIVE ROOT ZONE PER DETAILS AND STANDARDS SHOWN ON THE PLANS, AND SHALL REMAIN IN PLACE UNTIL SITE PREPARATION, TRENCHING, AND HARDSCAPE CONSTRUCTION ACTIVITIES ARE COMPLETE.
7.

INSTALLATION OF ARTIFICIAL BARRIERS SUCH AS PROTECTIVE BARRICADES, FENCES, POSTS OR WALLS SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES.
8.

ALL TRIMMING, PRUNING, ETC. OF PROTECTED TREES DURING DEVELOPMENT SHALL BE DONE BY A QUALIFIED, LICENSED ARBORIST.
9.

IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS OR SUSPECTS ANY DISCREPANCY BETWEEN THE DRAWINGS AND PHYSICAL CONDITIONS OF THE SITE, OR WORK, OR ANY ERRORS OR OMISSIONS IN THE CONTRACT DRAWINGS OR SPECIFICATIONS, HE SHALL IMMEDIATELY NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE, IN WRITING, AND THE OWNER'S REPRESENTATIVE WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH DISCOVERY, UNLESS AUTHORIZED, SHALL BE DONE AT THE CONTRACTOR'S RISK.
10.

CONTRACTOR SHALL PROVIDE TEMPORARY PROVISIONS FOR INGRESS AND EGRESS FROM THE SITE AS APPROVED BY OWNER IN ADVANCE.
11.

AN M.O.T. PLAN SHALL BE PROVIDED BY THE CONTRACTOR TO COUNTY AND THE OWNER, SHOWING TEMPORARY BARRICADES AND PROTECTION, IF APPLICABLE. BARRICADES AND PROTECTION SHALL CONFORM TO COUNTY STANDARDS. A R.O.W. USE PERMIT SHALL BE APPLIED FOR WITH THE COUNTY IF LANE CLOSURE (OF ANY TYPE) ARE NEEDED FOR CONSTRUCTION.
12.

ALL TEMPORARY BARRICADES AND PROTECTION SHALL BE PROVIDED & MAINTAINED BY THE CONTRACTOR ON A DAILY BASIS PER FDOT/ AASHTO AND COUNTY CODES AND STANDARDS.
13.

CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADS CONTIGUOUS TO THE PROJECT CLEAN AND FREE OF BRUSH AND DEBRIS FROM THE BEGINNING OF SITE DEMOLITION TO THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND FINAL PROJECT ACCEPTANCE.
14.

ALL CLEARING AND GRUBBING ACTIVITIES SHALL INCLUDE BRUSH, WEEDS, ROOTS, ORGANIC MATTER, AND OTHER OBSTRUCTIONS WITHIN THE "LIMITS OF WORK", UNLESS OTHERWISE DIRECTED BY THE OWNER. ROTOTILL REMAINING SOIL (NOT NEAR PROTECTED TREES) TO 16" DEPTH.
15.

ALL WORK TO BE PERFORMED DURING DAYS AND HOURS APPROVED IN ADVANCE BY OWNER.
16.

CONTRACTOR TO USE EXTREME CAUTION WITH ALL UNDERGROUND MECHANICAL, ELECTRICAL, PLUMBING, EXISTING WATER, SEWER, GAS, ELECTRIC, AND COMMUNICATION LINES DURING CONSTRUCTION. HAND EXCAVATE AS NECESSARY.
17.

ALL EXISTING TRAFFIC, MUNICIPAL, OR DIRECTIONAL SIGNAGE SHALL BE PROTECTED AND MAINTAINED THROUGHOUT COURSE OF PROJECT. FOLLOW MUTCD CURRENT STANDARDS IF REPLACEMENT IS NEEDED.
18.

ANY DAMAGE DONE BY CONTRACTOR AND AS NOTED BY OWNER, TO THE EXISTING HARDSCAPE, TREES, SHRUBS, GROUNDCOVER OR SOD, SHALL BE REPAIRED OR REPLACED BY CONTRACTOR PRIOR TO FINAL PAYMENT BEING ISSUED.
19.

THE LIMIT OF WORK, SHALL BE AS DETAILED ON THE HARDSCAPE PLAN. WORK OUTSIDE THIS LINE IS NOT INCLUDED IN THE HARDSCAPE WORK, UNLESS NECESSARY FOR TIE-IN TO EXISTING.

HARDSCAPE CONSTRUCTION NOTES:

1.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES SHOULD BE FIELD VERIFIED. IF THE SURVEY DOES NOT PROVIDE ALL NECESSARY SITE INFORMATION, THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 12 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IF ANY EXISTING UTILITIES CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2.

CONTRACTOR TO PROVIDE GRADE STAKES AND LAYOUT STAKES FOR THE G.C. AND LANDSCAPE ARCHITECT TO REVIEW IN ADVANCE OF EARTHWORK. STAKING OF UTILITY EASEMENTS, RIGHT-OF-WAY, FENCE EASEMENTS, PROPERTY LINE WITHIN "LIMITS OF WORK" IS REQUIRED AT THE START OF THIS PROJECT BY CONTRACTOR.
3.

IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
4.

ALL MANHOLES, VALVE BOX LIDS, METER LIDS, ETC. IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND GRADE AND SHALL HAVE TRAFFIC BEARING RING & COVERS, PER CODE.
5.

THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE FLORIDA GENERIC N.P.D.E.S. OR ORIGINAL SITE DEVELOPMENT PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
6.

CONTRACTOR TO ENSURE FINISH GRADE IS SMOOTH AND IS RESPONSIBLE FOR MAINTAINING A POSITIVE DRAINAGE PATTERN. MATCH GRADES AS PER THE ORIGINAL DEVELOPMENT AND/ OR AS PER LANDSCAPE ARCHITECTS DIRECTION.
7.

CONTRACTOR SHALL PROTECT EXISTING ELECTRICAL EQUIPMENT/SERVICE AND IRRIGATION SYSTEM AND REPAIR OR REPLACE ANY DAMAGE DONE DURING COURSE OF THEIR WORK PERIOD.
8.

CONTRACTOR SHALL ORDER PRODUCTS AS SPECIFIED AND SHOWN ON THE HARDSCAPE DETAIL SHEETS AND WRITTEN SPECIFICATIONS. PRODUCT ORDERS SHALL BE DONE AT THE START OF THE JOB AS MANY ITEMS HAVE LONG LEAD TIMES. CONTRACTOR SHALL PROVIDE ALL CARE AND WARRANTY INFORMATION TO OWNER AT CLOSE OUT OF JOB.
9.

CONTRACTOR SHALL STORE ALL PRODUCTS/ MATERIALS IN SAFE AND SECURED LOCATION UNTIL INSTALLATION. IT SHALL BE THEIR RESPONSIBILITY IF ANY PRODUCT OR MATERIAL IS DAMAGED OR STOLEN PRIOR TO ACCEPTANCE BY OWNER.
10.

CONTRACTOR SHALL VERIFY ALL QUANTITIES AND MEASUREMENTS AT THE TIME OF BID.
11.

ALL STRUCTURAL AND DECONSTRUCTION WORK SHALL FOLLOW THE FLORIDA BUILDING CODE.
12.

SIGNS WILL ONLY BE LIT FROM IN GROUND UP LIGHT FIXTURE.

COUNTY NOTES:

REFERENCE NOTES SCHEDULE

| SYMBOL         | DESCRIPTION  |
|----------------|--|
| <div>1</div>   | MANUFACTURER: LETTERSANDSIGNS.COM<br>FONT: GOUDY OLD STYLE, BLACK, BOLD<br>MATERIAL: 1/2" TH. SOLID BRONZE<br>FINISH: DARK OXIDIZED<br>CONTACT: CAMERON<br>PHONE: 816-800-9444 EXT. 104<br>ATTACH NEW LETTERING USING PRE-INSTALLED HARDWARE. COUNTER SINK BOLTS TO LIMIT OF 1" SPACERS - TYP. |
| <div>2</div>   | MANUFACTURER : SIGNATURE PRIVACY WALLS OF FLORIDA<br>STYLE: 10' O.C. WALL SYSTEM 6'-0" HT.<br>FINISH: SMOOTH STUCCO<br>CONTACT: TIM CARMICHAEL<br>PHONE: 813-230-7181  |
| <div>3</div>   | MANUFACTURER : SIGNATURE PRIVACY WALLS OF FLORIDA<br>STYLE: 10' SQ COLUMN 6'-0" HT. W/ DECORATIVE CAP.<br>FINISH: SMOOTH STUCCO<br>CONTACT: TIM CARMICHAEL<br>PHONE: 813-230-7181  |
| <div>4-1</div> | COLOR 'A'<br>PRIME AND PAINT FRONT & BACK WALLS WITH 2 COATS: SHERWIN WILLIAMS A-100 SEMI-GLOSS EXTERIOR, COLOR TBD  |
| <div>4-2</div> | COLOR 'B'<br>PRIME AND PAINT ENTIRE FRONT & BACK WALLS WITH 2 COATS: SHERWIN WILLIAMS A-100 SEMI GLOSS EXTERIOR, COLOR TBD.  |
| <div>5</div>   | MANUFACTURER : SIGNATURE PRIVACY WALLS OF FLORIDA<br>STYLE: 20' O.C. WALL SYSTEM 8'-0" HT.<br>FINISH: SMOOTH STUCCO<br>CONTACT: TIM CARMICHAEL<br>PHONE: 813-230-7181  |
| <div>6</div>   | MANUFACTURER : SIGNATURE PRIVACY WALLS OF FLORIDA<br>STYLE: 18' SQ. COLUMNS, 8'-0" HT. W/ DECORATIVE CAP<br>FINISH: SMOOTH STUCCO<br>CONTACT: TIM CARMICHAEL<br>PHONE: 813-230-7181  |
| <div>7</div>   | APPLY A 1/2" TH. CONCRETE CEMENT SKIM COAT TO THE LIMIT OF ENTIRE SIGN PANEL BORDER. ADD A LIGHT SALT ROCK TEXTURE FINISH. INCLUDE A 2" REVEAL TRIM, CONSTRUCTED OF MEDIUM DENSITY EPS FOAM W/ 30 MIL POLYURETHANE.  |

LOGO  
PANEL

ALT. #1  
COLUMN @  
WALL  
SYSTEM  
COLUMN

ALT. #1  
WALL  
SYSTEM

ALT. #1  
BUILT-IN  
COLUMN  
CAP

ALT. #1  
SIGN WALL  
SYSTEM

|                |  |
|----------------|--|
| <div>7-1</div> | APPLY A 1/2" TH. CONCRETE CEMENT SKIM COAT TO THE LIMIT OF ENTIRE SIGN PANEL BORDER. ADD A LIGHT SALT ROCK TEXTURE FINISH.   |
| <div>8</div>   | MANUFACTURER: PERMACAST<br>STYLE: 18' SQ. COLUMN, 6'-0" HT.<br>FINISH: SMOOTH STUCCO<br>CONTACT: JACOB BAKER<br>PHONE: (309) 513-3324  |
| <div>9</div>   | MANUFACTURER: PERMACAST<br>STYLE: 6' HT. WALL WITH COLUMNS @ 10' O.C.<br>FINISH: SMOOTH STUCCO<br>CONTACT: JACOB BAKER<br>PHONE: (309) 513-3324 (ESTATES ONLY)   |
| <div>11</div>  | MANUFACTURER: PERMACAST<br>STYLE: 24' SQ. COLUMN, 8' HT. @ 20' O.C.<br>FINISH: SMOOTH STUCCO<br>CONTACT: JACOB BAKER<br>PHONE: (309) 513-3324 (WINDSOR & RESERVE)  |
| <div>12</div>  | MANUFACTURER: PERMACAST<br>STYLE: 20' WALL SYSTEM 8' HT.<br>FINISH: SMOOTH STUCCO<br>CONTACT: JACOB BAKER<br>PHONE: (309) 513-3324<br>(PANEL CUT DOWN TO 18 LINEAR FEET IN LENGTH, NO PAINT)<br>**WINDSOR ONLY** |

NOTE: REFERENCE NOTES ARE 'TYPICAL' PER EACH CALLOUT

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NICHOLS  
LANDSCAPE ARCHITECTURE

18115 N US Highway 41, Suite 100

Lutz, FL 33549

813.948.8810 o. 877.246.3714 f.

www.NICHOLS-LA.com

CLIENT:

PARK PLACE  
CDD c/o MERITUS

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

ENHANCEMENT  
PROJECT

HILLSBOROUGH COUNTY

SHEET TITLE:

HARDSCAPE  
CONSTRUCTION NOTES  
& REFERENCE NOTES

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22

DRAWN BY: SG

QA/QC: CRN

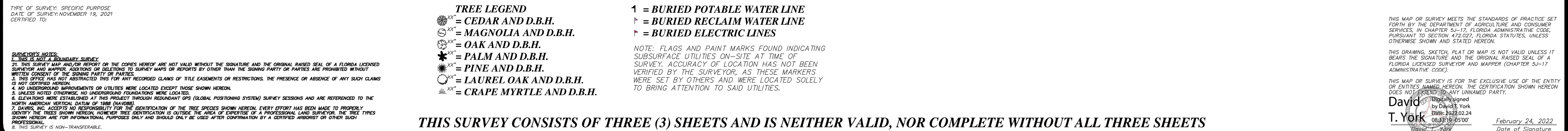
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

G-1



**CITRUS PARK DRIVE**  
(124' RIGHT-OF-WAY)



***THIS SURVEY CONSISTS OF THREE (3) SHEETS AND IS NEITHER VALID, NOR COMPLETE WITHOUT ALL THREE SHEETS***



**SPECIFIC PURPOSE SURVEY**

CITRUS PARK - COUNTRYWAY BOULEVARD  
HILLSBOROUGH COUNTY, FLORIDA

WINDSOR PLACE  
FRONTAGE

CITRUS PARK - COUNTRYWAY BOULEVARD  
HILLSBOROUGH COUNTY, FLORIDA

15

21098  
FILE: 21098.DWG  
CHECKED BY: DTY  
SHEET NO.  
1 OF 3

THIS MAP OR SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, CHAPTER 1J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.02, FLORIDA STATUTES, UNLESS OTHERWISE SHOWN AND STATED HEREON.

THIS DRAWING, SKETCH, PLAT OR MAP IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (CHAPTER 5J-17 ADMINISTRATIVE CODE).

THIS DRAWING, SKETCH, PLAT OR MAP IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (CHAPTER 5J-17 ADMINISTRATIVE CODE).

THIS MAP OR SURVEY IS FOR THE EXCLUSIVE USE OF THE ENTITY OR ENTITIES NAMED HEREON. THE CERTIFICATION SHOWN HEREON DOES NOT EXTEND TO ANY UNNAMED PARTY.

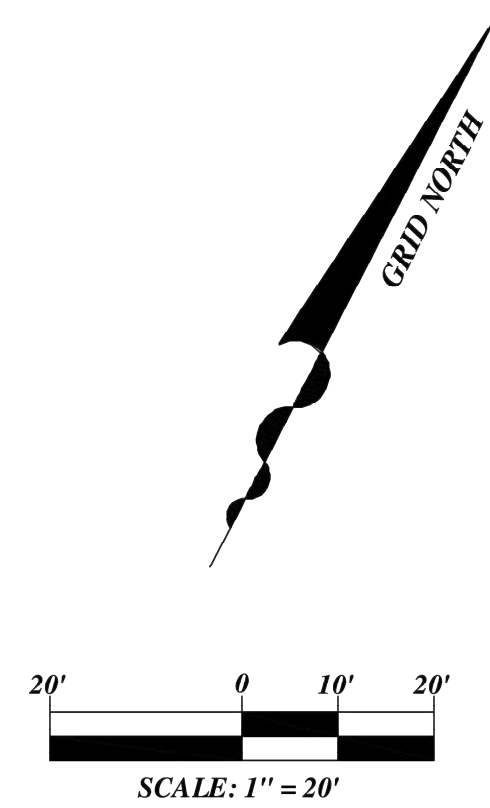
THIS MAP OR SURVEY IS FOR THE EXCLUSIVE USE OF THE ENTIRE  
OR ENTITIES NAMED HEREON. THE CERTIFICATION SHOWN HEREON  
DOES NOT EXTEND TO ANY UNNAMED PARTY.

**David T. York** Digitally signed by David T. York  
Date: 2022.02.24 08:37:19 -05'00'

February 24, 2022  
Date of Signature








February 24, 2022  
Date of Signature





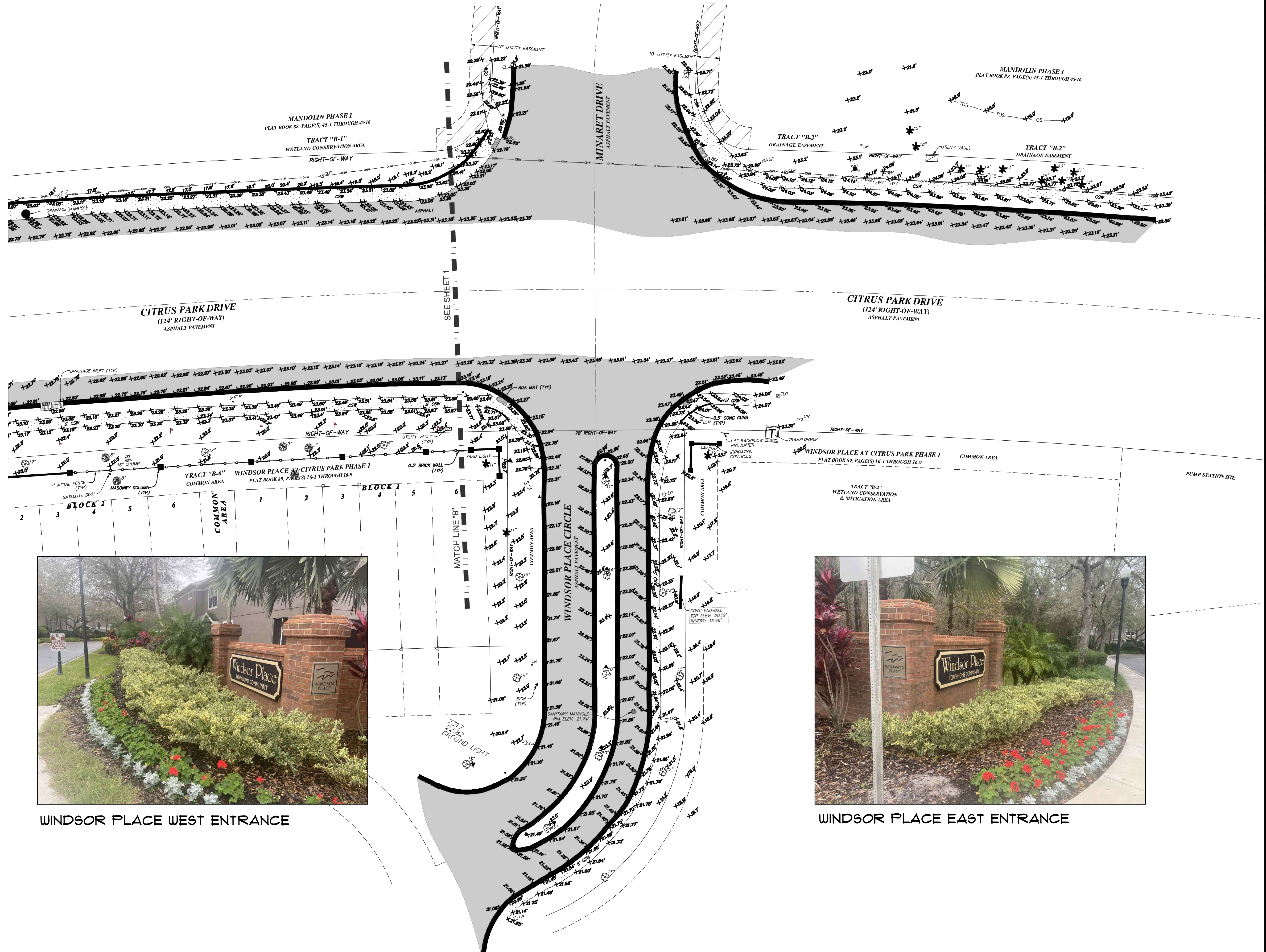
| LEGEND |                                     |
|--------|-------------------------------------|
| (D)    | DESCRIPTION MEASUREMENT AND/OR DATA |
| (F)    | FIELD MEASUREMENT AND/OR DATA       |
| (S)    | SECTION MEASUREMENT AND/OR DATA     |
| Q      | QUAN. OUT                           |
| CONC   | CONCRETE                            |
| CSW    | COR. COVERED                        |
| CSW    | CONCRETE SIDEWALK                   |
| CR     | CURB                                |
| EW     | EXTERIOR WREST HIGH                 |
| ELEV   | ELEVATION                           |
| EL     | ELECTRIC METER POLE                 |
| END    | END OF FIRE HYDRANT                 |
| ID     | IDENTIFICATION                      |
| INV    | INVERT                              |
| LB     | LICENSED BUSINESS NUMBER            |
| LS     | LICENSED SURVEYOR                   |
| LS     | LICENSED SUPERVISOR                 |
| NAD    | NORTH AMERICAN VERTICAL DATUM       |
| NOL    | NO. LAMP                            |
| OHM    | OVERHEAD WIRE                       |
| OT     | OPTICAL REFRACTOR                   |
| PSM    | PROFESSIONAL SURVEYOR AND MAPPER    |
| PSM    | PROFESSIONAL SURVEYOR AND INSPECTOR |
| RA     | REAR ALARM                          |
| RY     | RECEIVING WATER VALVE               |
| TBB    | TOP OF BANK                         |
| TOS    | TOP OF SLOPE                        |
| TP     | TRIP                                |
| UTM    | UTILITY BOX                         |
| UTM    | UTILITY MARKER                      |
| UL     | UTILITY POLE                        |
| UR     | UTILITY RISER                       |
| UV     | UTILITY VALVE                       |
| WV     | WATER METER                         |
| WV     | WATER VALVE                         |
| +      | SPOT ELEVATION                      |

**TREE LEGEND**

 **XX = CEDAR AND D.B.H.**  
 **XX\* = MAGNOLIA AND D.B.H.**  
 **XX = OAK AND D.B.H.**  
 **XX\* = PALM AND D.B.H.**  
 **XX = PINE AND D.B.H.**  
 **XX = LAUREL OAK AND D.B.H.**  
 **XX\* = CRAPE MYRTLE AND D.B.H.**

**▲ = BURIED POTABLE WATER LINE**  
**▼ = BURIED RECLAIM WATER LINE**  
**⬇ = BURIED ELECTRIC LINES**

NOTE: FLAGS AND PAINT MARKS FOUND INDICATING  
SUBSURFACE UTILITIES ON-SITE AT TIME OF  
SURVEY. ACCURACY OF LOCATION HAS NOT BEEN  
VERIFIED BY THE SURVEYOR, AS THESE MARKERS  
WERE SET BY OTHERS AND WERE LOCATED SOLELY  
TO BRING ATTENTION TO SAID UTILITIES.



WINDSOR PLACE WEST ENTRANCE

WINDSOR PLACE EAST ENTRANCE

***THIS SURVEY CONSISTS OF THREE (3) SHEETS AND IS NEITHER VALID, NOR COMPLETE WITHOUT ALL THREE SHEETS***



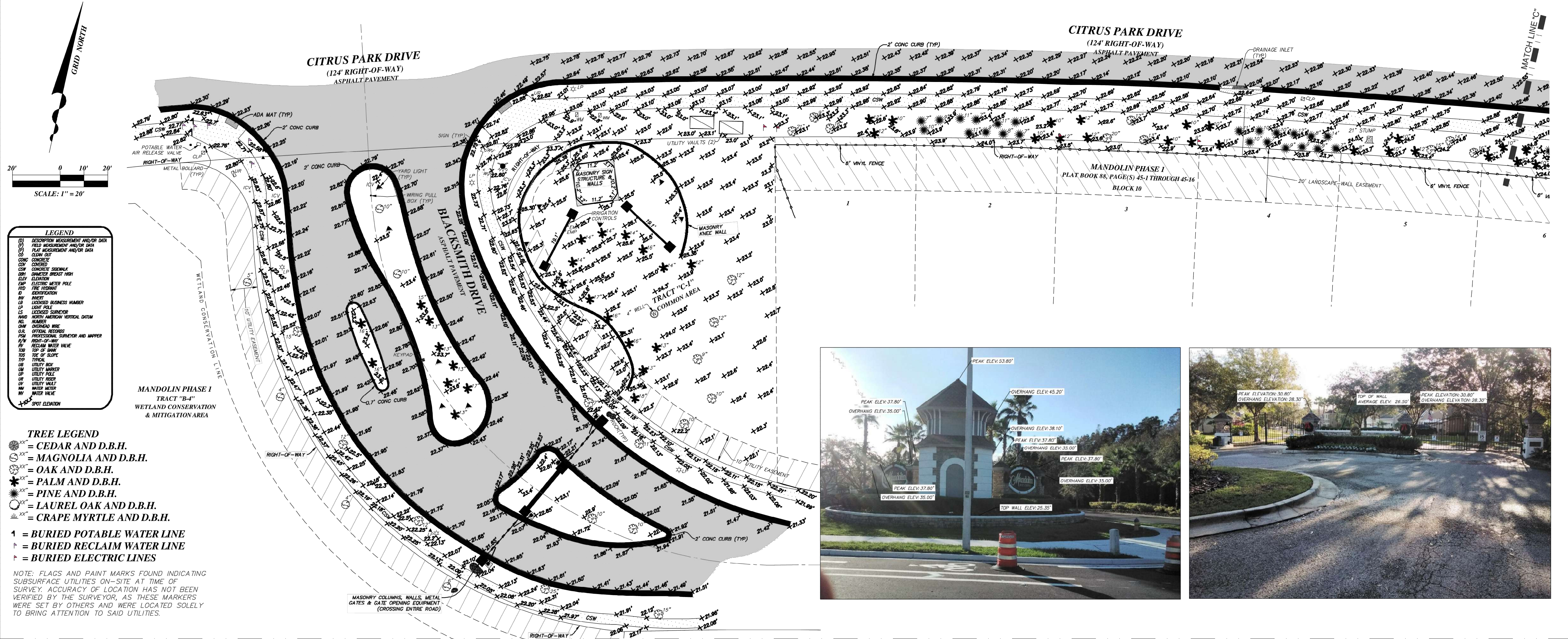
**SPECIFIC PURPOSE SURVEY**  
CITRUS PARK - COUNTRYWAY BOULEVARD  
HILLSBOROUGH COUNTY, FLORIDA

**CITRUS PARK - COUNTRYWAY BOULEVARD  
HILLSBOROUGH COUNTY, FLORIDA**

SS-2

**21098**  
**FILE: 21098.DWG**  
**CHECKED BY: DTY**  
**SHEET NO.**  
**2 OF 3**





THIS SURVEY CONSISTS OF THREE (3) SHEETS AND IS NEITHER VALID, NOR COMPLETE WITHOUT ALL THREE SHEETS

DAVRIS, INC.  
CERTIFICATE OF AUTHORIZATION # 7968  
5830 Hahnstraße Ave  
Tampa, FL 33634  
Phone: (727) 252-8800  
Website: www.davrisinc.com  
Email: ceo@davrisinc.com



MANDOLIN  
RESERVE  
FRONTAGE

SPECIFIC PURPOSE SURVEY

CITRUS PARK - COUNTRYWAY BOULEVARD  
HILLSBOROUGH COUNTY, FLORIDA

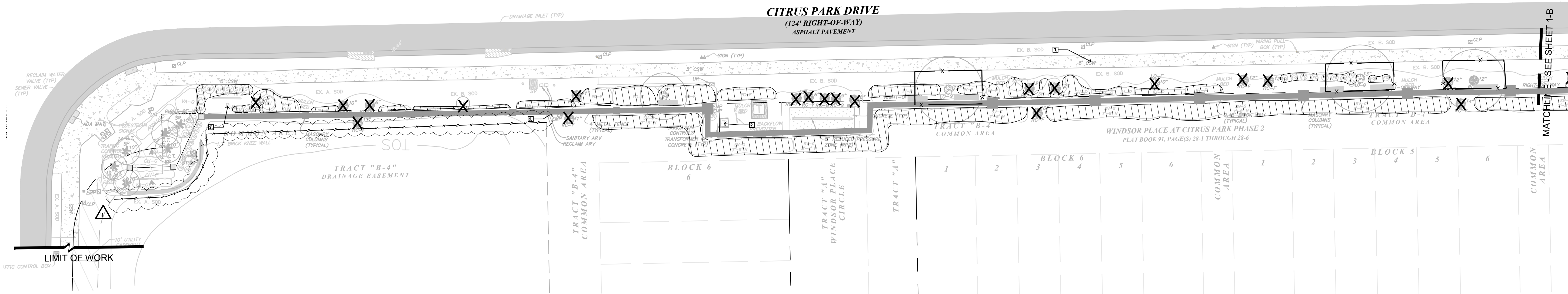
SS-3

PROJECT NUMBER:  
21098  
FILE: 21098.DWG  
CHECKED BY: JDT  
SHEET NO.  
3 OF 3









PLAN SHEET "A"

TREE PROTECTION & REMOVAL LEGEND

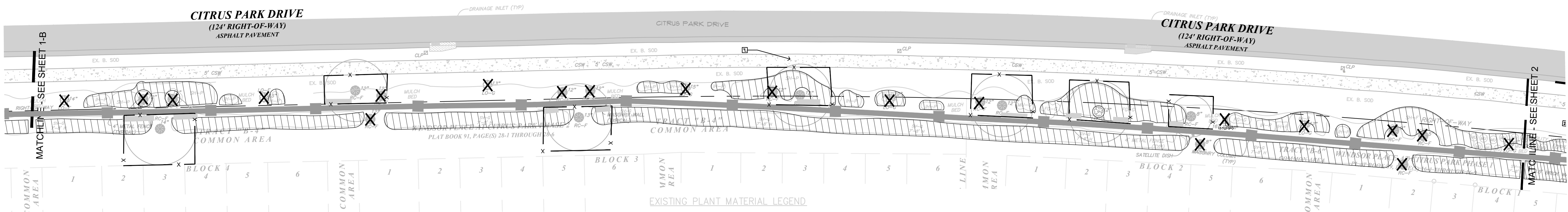
- EXISTING TREE (TO REMAIN) WITH APPROXIMATE LIMIT OF DRIPLINE/TREE PROTECTION ZONE. (SEE EXISTING PLANT MATERIAL LEGEND FOR MORE INFORMATION)(THIS SHEET)), TYP.
- EXISTING TREE REMOVAL AND STUMP - FOR NEW CONSTRUCTION ACTIVITY (STUMP GRIND TRUNK/ ROOTS TO 18" DEPTH, CLEAR AND GRUB) , TYP.
- SPECIFIC PLAN NOTE INDICATOR, TYP.
- LIMIT OF CLEARING AND GRUBBING, REMOVE ALL SHRUBS, GROUNDCOVER, ROOTS, DEBRIS AND INVASIVE PLANT MATERIAL WITHIN THIS AREA, PER COUNTY REQUIREMENTS. REGRADE TO MATCH LANDSCAPE AND SURVEY PLANS, TYP.
- PROPOSED TREE PROTECTION BARRICADE (FOLLOW COUNTY STANDARDS), TYP.
- EXISTING SHRUBS AND GROUNDCOVER, TYP.
- DEMOLISH EXISTING MASONRY WALL, MASONRY COLUMNS, PVC FENCING AND ORNAMENTAL FENCING, TYP.
- ROOT PRUNING LINE/ LIMIT, ROOT PRUNE TO DEPTH OF 24" WITH DOSCO OR EQ. ROOT PRUNING MACHINE. USE CLEAN, SHARP BLADE FOR EACH TREE.
- PROPOSED STACKED SILT FENCE.

GENERAL TREE PROTECTION AND DEMOLITION NOTES:

- CONTRACTOR SHALL STRIP ALL OLD SOD AND ROTOTILL WITH SOIL MIX AS PER LANDSCAPE NOTES. PRIOR TO TREE, SHRUB, SOD AND GROUNDCOVER INSTALLATION CONTRACTOR SHALL PROVIDE A FINISH GRADE FOR THESE AREAS PER LANDSCAPE AND ORIGINAL SURVEY.
- CONTRACTOR SHALL REMOVE ALL DUST AND DEBRIS OFF SITE DAILY, PER LOCAL CODE AND ORDINANCES.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND R.O.W. DURING DEMOLITION ACTIVITIES. MAINTAIN CLEAR ROADWAYS. PER APPROVED TRAFFIC CONTROL PLAN AND PROVIDE M.O.T. AS NEEDED.
- CONTRACTOR SHALL CUT ALL VISIBLE CIRCULAR ROOTS ON PROTECTED TREES.
- ARBORIST TO PRUNE PROTECTED TREE BRANCHES THAT ARE WITHIN 25 VERTICAL FEET ABOVE PROPOSED WALL.
- ARBORIST TO INCLUDE PRUNING LOT TREES ON PRIVATE PROPERTY AND CREATE A 4" DIFFERENCE ON WALL.

SPECIFIC PLAN NOTES:

- PROTECT EXISTING TREES DURING CONSTRUCTION. HAND DIS/CUT AROUND EACH TREE ROOT AS APPROPRIATE, PER ISA AND ANSI - A300 STANDARDS.
- PROTECT EXISTING UTILITIES DURING DEMOLITION.
- PROTECT EXISTING LIGHT FIXTURES DURING DEMOLITION.
- DEMOLISH EXISTING BOULDERS.
- DEMOLISH EXISTING LANDSCAPE STONE.
- PROTECT EXISTING COLUMNS AND ORNAMENTAL FENCE IN THIS AREA DURING DEMOLITION.
- CONTRACTOR SHALL PROTECT EXISTING SIDEWALK AND PLANTER WALLS FROM HEAVY EQUIPMENT. ANY DAMAGE SHALL BE AT CONTRACTORS' EXPENSE.

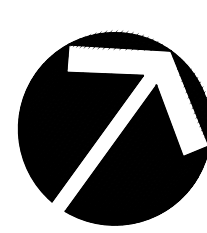


PLAN SHEET "B"

EXISTING PLANT MATERIAL LEGEND

- SL = SLASH PINE
- LA = LAUREL OAK
- LO = LIVE OAK
- LL = LOBLOLLY PINE
- MA = MAGNOLIA
- OM = GRAPE MYRTLE
- BM = BISMARK PALM
- RC = RED CEDAR
- DP = PYGMY DATE PALM
- SP = SABAL PALM
- WP = WASHINGTON PALM
- WM = WAX MYRTLE
- CT = CURLY LEAF LIQUISTRUM TREE
- BT = BLUEBERRY TREE
- SH = SHILLINGS HOLLY DWF
- VE = VARIEGATED EUONYMUS
- LB = LITTLELEAF BOX
- GD = GOLDEN DENDROB
- IH = INDIAN HAWTHORN DWF
- CO = COONTIE
- LI = LIROPE
- PO = PODOCARPUS
- CL = LIQUISTRUM 'CURVY LEAF'
- SV = SWEET VIBURNUM
- FG = FAKAHATCHEE GRASS DWF
- CH = CHINESE HOLLY
- VA = VARIEGATED ARBICOLA
- BC = BALD CYPRESS TREE
- DU = DWF UMBRELLA TREE
- CR = CRINUM LILY
- MU = MURLEY GRASS
- CF = CHINESE FRINGE FLOWER
- TI = TI PLANT
- YU = YUCCA
- EM = EMERALD BLANKET DWF NATAL PLUM
- AG = ADAPANTHUS
- CV = GARDEN CROTON VARIEGATED
- TW = TWISTED GARDEN CROTON
- BD = BLUE DAZE
- CP = COPPER LEAF
- AL = ALLAMANDA
- VU = VARIEGATED DWF UMBRELLA TREE
- EX = EXISTING LIGHT FIXTURES
- A SOD = ST. AUGUSTINE SOD
- B SOD = BAHIA SOD
- XX-G = GOOD CONDITION
- XX-F = FAIR CONDITION
- XX-S = SPARSE CONDITION
- XX-P = POOR CONDITION
- XX-D = DEAD

- TREE LEGEND
- CE = CEDAR AND D.B.H.
- MA = MAGNOLIA AND D.B.H.
- LO = LIVE OAK AND D.B.H.
- PA = PALM AND D.B.H.
- PI = PINE AND D.B.H.
- LA = LAUREL OAK AND D.B.H.
- CR = CRANE MYRTLE AND D.B.H.



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LANDSCAPE ARCHITECTURE

18115 N US Highway 41, Suite 100  
Lutz, FL 33549  
813.948.8810 o. 877.246.3714 f.  
www.NICHOLS-LA.com

CLIENT:  
**PARK PLACE  
CDD c/o MERITUS**

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**WINDSOR PLACE  
FRONTAGE TREE  
REMOVAL AND  
PROTECTION PLAN**

| REVISIONS: |          |                 |
|------------|----------|-----------------|
| NO.        | DATE     | DESCRIPTION     |
| 1.         | 10-14-22 | COUNTY COMMENTS |

Celia R. Nichols, PLA, ASLA  
LA0001518

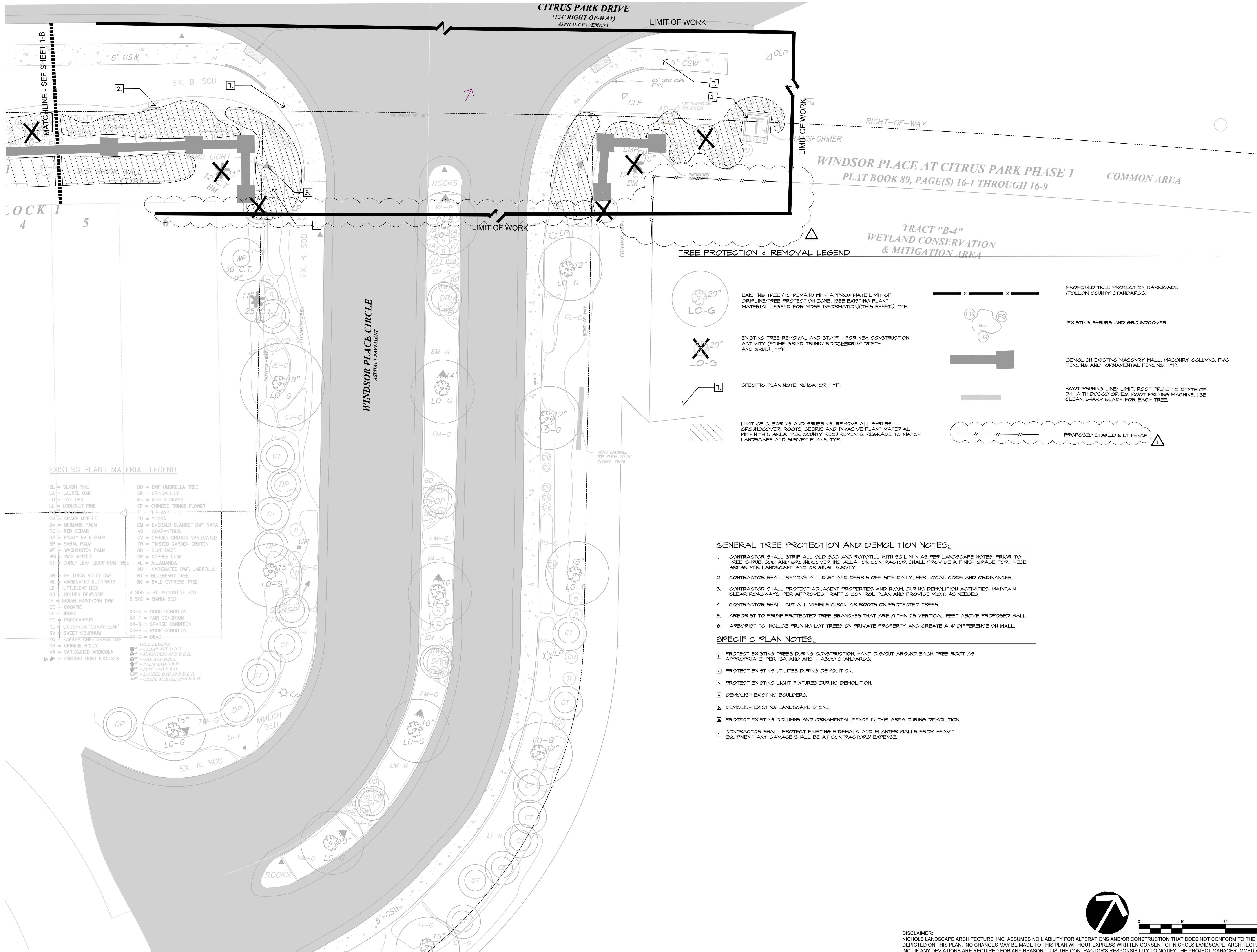
Date

SUBMITTAL DATE: 05-25-22  
DRAWN BY: SG  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**T-1**





EXISTING PLANT MATERIAL LEGEND

|                                |                               |
|--------------------------------|-------------------------------|
| SL = SLASH PINE                | DU = DWf UMBRELLA TREE        |
| LA = LAUREL OAK                | CR = CRINUM LILY              |
| LO = LIVE OAK                  | MU = MUHLY GRASS              |
| LI = LIOLOLY PINE              | CF = CHINESE PRINCE FLOWER    |
| CM = CRAPE MYRTLE              | YU = YUCCA                    |
| BM = BISMARCK PALM             | EM = EMERALD BLANKET DWf NATA |
| RC = RED CEDAR                 | AG = AGAPANTHUS               |
| DR = PYDMY DATE PALM           | CV = GARDEN CROTON VARIEGATED |
| SP = SABAL PALM                | TW = TWISTED GARDEN CROTON    |
| WP = WASHINGTON PALM           | BD = BLUE DAZE                |
| WM = WAX MYRTLE                | CP = COPPER LEAF              |
| CT = CURLY LEAF LIGUSTRUM TREE | AL = ALLAMANDA                |
| SH = SHILLINGS HOLLY DWf       | VU = VARIEGATED DWf. UMBRELLA |
| VE = VARIEGATED EUONYMUS       | BT = BLUEBERRY TREE           |
| LB = LITTLELEAF BOX            | BC = BALD CYPRESS TREE        |
| GD = GOLDEN DEWDROP            | A SOD = ST. AUGUSTINE SOD     |
| IH = INDIAN HAWTHORN DWf       | B SOD = BAHIA SOD             |
| CD = COONTIE                   | XX-G = GOOD CONDITION         |
| U = UROPE                      | XX-F = FAIR CONDITION         |
| PO = PODOCARPUS                | XX-S = SPARSE CONDITION       |
| CL = LIGUSTRUM 'CURVY LEAF'    | XX-P = POOR CONDITION         |
| SV = SWEET VIBURNUM            | XX-D = DEAD                   |
| FG = FAKAPATREE GRASS DWf      |                               |
| CH = CHINESE HOLLY             |                               |
| VA = VARIEGATED ARBICOLA       |                               |
| DP = EXISTING LIGHT FIXTURES   |                               |

|                             |
|-----------------------------|
| ● = CEDAR AND D.B.H.        |
| ● = MAGNOLIA AND D.B.H.     |
| ● = OAK AND D.B.H.          |
| ● = PALM AND D.B.H.         |
| ● = PINE AND D.B.H.         |
| ● = LAUREL OAK AND D.B.H.   |
| ▲ = CRAPE MYRTLE AND D.B.H. |

TREE PROTECTION & REMOVAL LEGEND

|  |  |
|--|--|
|  | EXISTING TREE (TO REMAIN) WITH APPROXIMATE LIMIT OF DRIPLINE/TREE PROTECTION ZONE. (SEE EXISTING PLANT MATERIAL LEGEND FOR MORE INFORMATION(THIS SHEET)), TYP.   |
|  | EXISTING TREE REMOVAL AND STUMP - FOR NEW CONSTRUCTION ACTIVITY (STUMP GRIND TRUNK/ROOTS 24" DEPTH AND GRUB) , TYP.  |
|  | SPECIFIC PLAN NOTE INDICATOR, TYP.   |
|  | LIMIT OF CLEARING AND GRUBBING, REMOVE ALL SHRUBS, GROUNDCOVER, ROOTS, DEBRIS AND INVASIVE PLANT MATERIAL WITHIN THIS AREA. PER COUNTY REQUIREMENTS. REGRADE TO MATCH LANDSCAPE AND SURVEY PLANS, TYP. |
|  | PROPOSED TREE PROTECTION BARRICADE (FOLLOW COUNTY STANDARDS)   |
|  | EXISTING SHRUBS AND GROUNDCOVER  |
|  | DEMOLISH EXISTING MASONRY WALL, MASONRY COLUMNS, PVC FENCING AND ORNAMENTAL FENCING, TYP.  |
|  | ROOT PRUNING LINE/ LIMIT. ROOT PRUNE TO DEPTH OF 24" WITH DOBBO OR EQ. ROOT PRUNING MACHINE. USE CLEAN, SHARP BLADE FOR EACH TREE.   |
|  | PROPOSED STAKED SILT FENCE   |

GENERAL TREE PROTECTION AND DEMOLITION NOTES:

- CONTRACTOR SHALL STRIP ALL OLD SOD AND ROTOTILL WITH SOIL MIX AS PER LANDSCAPE NOTES. PRIOR TO TREE, SHRUB, SOD AND GROUNDCOVER INSTALLATION CONTRACTOR SHALL PROVIDE A FINISH GRADE FOR THESE AREAS PER LANDSCAPE AND ORIGINAL SURVEY.
- CONTRACTOR SHALL REMOVE ALL DUST AND DEBRIS OFF SITE DAILY, PER LOCAL CODE AND ORDINANCES.
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- ARBORIST TO INCLUDE PRUNING LOT TREES ON PRIVATE PROPERTY AND CREATE A 4' DIFFERENCE ON WALL.

SPECIFIC PLAN NOTES:

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- PROTECT EXISTING UTILITES DURING DEMOLITION.
- PROTECT EXISTING LIGHT FIXTURES DURING DEMOLITION.
- DEMOLISH EXISTING BOULDERS.
- DEMOLISH EXISTING LANDSCAPE STONE.
- PROTECT EXISTING COLUMNS AND ORNAMENTAL FENCE IN THIS AREA DURING DEMOLITION.
- CONTRACTOR SHALL PROTECT EXISTING SIDEWALK AND PLANTER WALLS FROM HEAVY EQUIPMENT. ANY DAMAGE SHALL BE AT CONTRACTORS' EXPENSE.

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NICHOLS  
LANDSCAPE ARCHITECTURE

18115 N US Highway 41, Suite 100  
Lutz, FL 33549  
813.948.8810 o. 877.246.3714 f.  
www.NICHOLS-LA.com

CLIENT:

PARK PLACE  
CDD c/o MERITUS

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

ENHANCEMENT  
PROJECT

HILLSBOROUGH COUNTY

SHEET TITLE:

WINDSOR PLACE  
ENTRANCE TREE  
REMOVAL AND  
PROTECTION PLAN

REVISIONS:

| NO. | DATE     | DESCRIPTION     |
|-----|----------|-----------------|
| 1.  | 10-14-22 | COUNTY COMMENTS |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22

DRAWN BY: SG

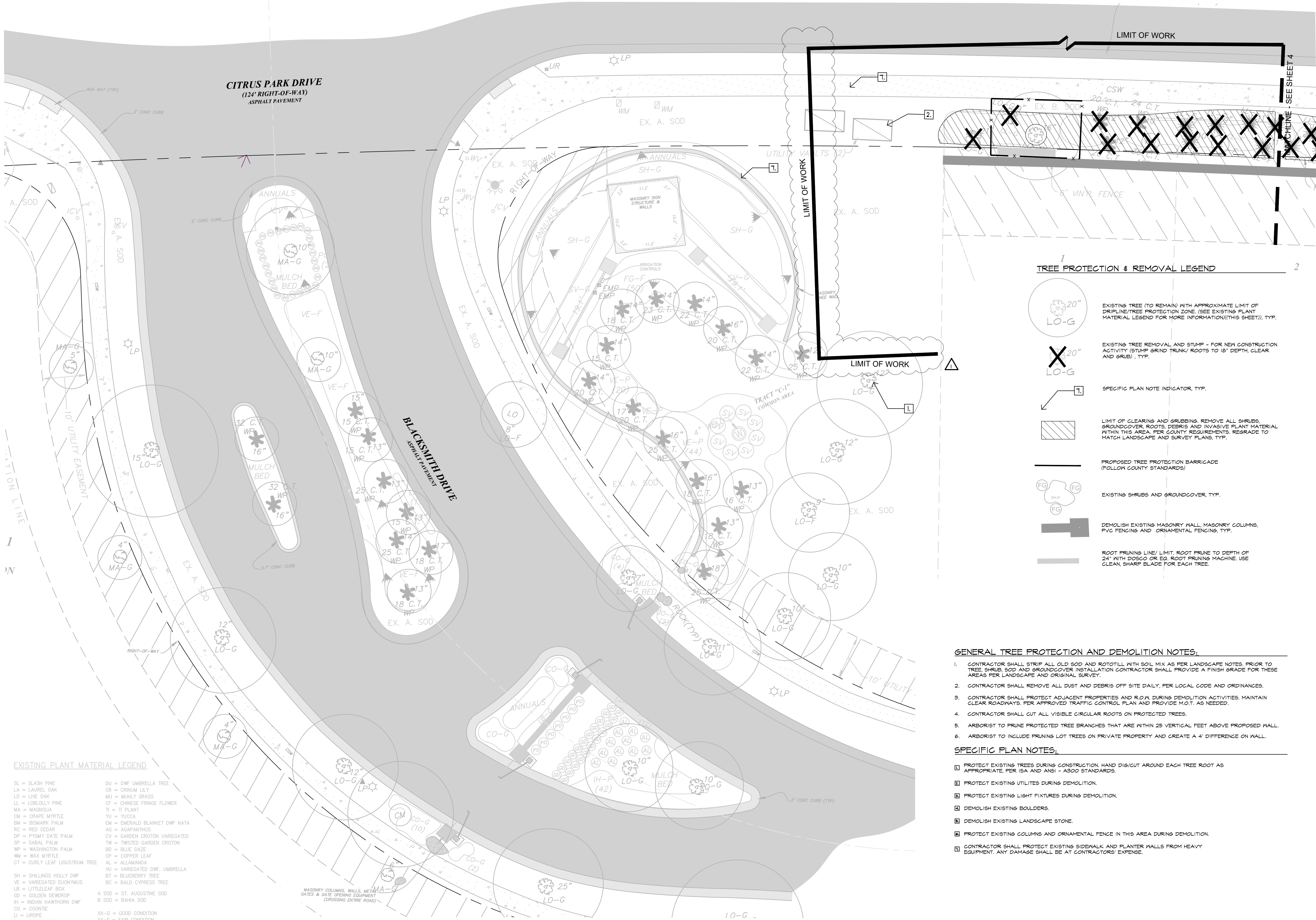
QA/QC: CRN

NLA JOB NO.: PP21-1.2

SHEET NUMBER:

T-2





EXISTING PLANT MATERIAL LEGEND

- SL = SLASH PINE  
LA = LAUREL OAK  
LO = LIVE OAK  
LL = LOBLOLLY PINE  
MA = MAGNOLIA  
CM = CROAKE MYRTLE  
BM = BISMARCK PALM  
RC = RED CEDAR  
DP = PYGMY DATE PALM  
SP = SABAL PALM  
WP = WASHINGTON PALM  
WM = WAX MYRTLE  
CT = CURLY LEAF LIGUSTRUM TREE  
SH = SHILLINGS HOLLY DWF  
VE = VARIATED EUONYMUS  
LB = LITTLELEAF BOX  
GD = GOLDEN DEWROP  
IH = INDIAN HAWTHORN DWF  
CO = COONTIE  
LI = LIROPE  
PO = PODOCARPUS  
CL = LIGUSTRUM 'CURVY LEAF'  
SV = SWEET VIBURNUM  
FG = FAKAHATCHEE GRASS DWF  
CH = CHINESE HOLLY  
VA = VARIATED ARBICOLA  
EX = EXISTING LIGHT FIXTURES
- DU = DWF UMBRELLA TREE  
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TI = TI PLANT  
YU = YUCCA  
EM = EMERALD BLANKET DWF NATA  
AG = AGAPANTHUS  
CV = GARDEN CROTON VARIATED  
TW = TWISTED GARDEN CROTON  
BD = BLUE DAZE  
CP = COPPER LEAF  
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VU = VARIATED DWF, UMBRELLA  
BT = BLUEBERRY TREE  
BC = BALD CYPRESS TREE  
A SOD = ST. AUGUSTINE SOD  
B SOD = BAHIA SOD  
XX-G = GOOD CONDITION  
XX-F = FAIR CONDITION  
XX-S = SPARSE CONDITION  
XX-P = POOR CONDITION  
XX-D = DEAD
- TREE LEGEND  
C = CEDAR AND D.B.H.  
M = MAGNOLIA AND D.B.H.  
O = OAK AND D.B.H.  
P = PALM AND D.B.H.  
L = LAUREL OAK AND D.B.H.  
C = CROAKE MYRTLE AND D.B.H.

GENERAL TREE PROTECTION AND DEMOLITION NOTES:

- CONTRACTOR SHALL STRIP ALL OLD SOD AND ROTOTILL WITH SOIL MIX AS PER LANDSCAPE NOTES. PRIOR TO TREE, SHRUB, SOD AND GROUNDCOVER INSTALLATION CONTRACTOR SHALL PROVIDE A FINISH GRADE FOR THESE AREAS PER LANDSCAPE AND ORIGINAL SURVEY.
- CONTRACTOR SHALL REMOVE ALL DUST AND DEBRIS OFF SITE DAILY, PER LOCAL CODE AND ORDINANCES.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND R.O.W. DURING DEMOLITION ACTIVITIES. MAINTAIN CLEAR ROADWAYS. PER APPROVED TRAFFIC CONTROL PLAN AND PROVIDE M.O.T. AS NEEDED.
- CONTRACTOR SHALL CUT ALL VISIBLE CIRCULAR ROOTS ON PROTECTED TREES.
- ARBORIST TO PRUNE PROTECTED TREE BRANCHES THAT ARE WITHIN 25 VERTICAL FEET ABOVE PROPOSED WALL.
- ARBORIST TO INCLUDE PRUNING LOT TREES ON PRIVATE PROPERTY AND CREATE A 4' DIFFERENCE ON WALL.

SPECIFIC PLAN NOTES:

- PROTECT EXISTING TREES DURING CONSTRUCTION. HAND DIS/CUT AROUND EACH TREE ROOT AS APPROPRIATE, PER ISA AND ANSI - ASOO STANDARDS.
- PROTECT EXISTING UTILITIES DURING DEMOLITION.
- PROTECT EXISTING LIGHT FIXTURES DURING DEMOLITION.
- DEMOLISH EXISTING BOULDERS.
- DEMOLISH EXISTING LANDSCAPE STONE.
- PROTECT EXISTING COLUMNS AND ORNAMENTAL FENCE IN THIS AREA DURING DEMOLITION.
- CONTRACTOR SHALL PROTECT EXISTING SIDEWALKS AND PLANTER WALLS FROM HEAVY EQUIPMENT. ANY DAMAGE SHALL BE AT CONTRACTORS' EXPENSE.

TREE PROTECTION & REMOVAL LEGEND

1. EXISTING TREE (TO REMAIN) WITH APPROXIMATE LIMIT OF DRIPLINE/TREE PROTECTION ZONE. (SEE EXISTING PLANT MATERIAL LEGEND FOR MORE INFORMATION)(THIS SHEET)), TYP.
2. EXISTING TREE REMOVAL AND STUMP - FOR NEW CONSTRUCTION ACTIVITY (STUMP GRIND TRUNK/ ROOTS TO 18" DEPTH, CLEAR AND GRUB) . TYP.
1. SPECIFIC PLAN NOTE INDICATOR, TYP.
- LIMIT OF CLEARING AND GRUBBING. REMOVE ALL SHRUBS, GROUNDCOVER, ROOTS, DEBRIS AND INVASIVE PLANT MATERIAL WITHIN THIS AREA. PER COUNTY REQUIREMENTS, REGRADE TO MATCH LANDSCAPE AND SURVEY PLANS, TYP.
- PROPOSED TREE PROTECTION BARRICADE (FOLLOW COUNTY STANDARDS)
- EXISTING SHRUBS AND GROUNDCOVER, TYP.
- DEMOLISH EXISTING MASONRY WALL, MASONRY COLUMNS, PVC FENCING AND ORNAMENTAL FENCING, TYP.
- ROOT PRUNING LINE/ LIMIT. ROOT PRUNE TO DEPTH OF 24" WITH DOSSCO OR EQ. ROOT PRUNING MACHINE. USE CLEAN, SHARP BLADE FOR EACH TREE.



NICHOLS  
LANDSCAPE ARCHITECTURE

18115 N US Highway 41, Suite 100  
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www.NICHOLS-LA.com

CLIENT:

PARK PLACE  
CDD c/o MERITUS

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

ENHANCEMENT  
PROJECT

HILLSBOROUGH COUNTY

SHEET TITLE:

MANDOLIN RESERVE  
ENTRANCE TREE  
REMOVAL AND  
PROTECTION PLAN

REVISIONS:

| NO. | DATE     | DESCRIPTION | COUNTY COMMENTS |
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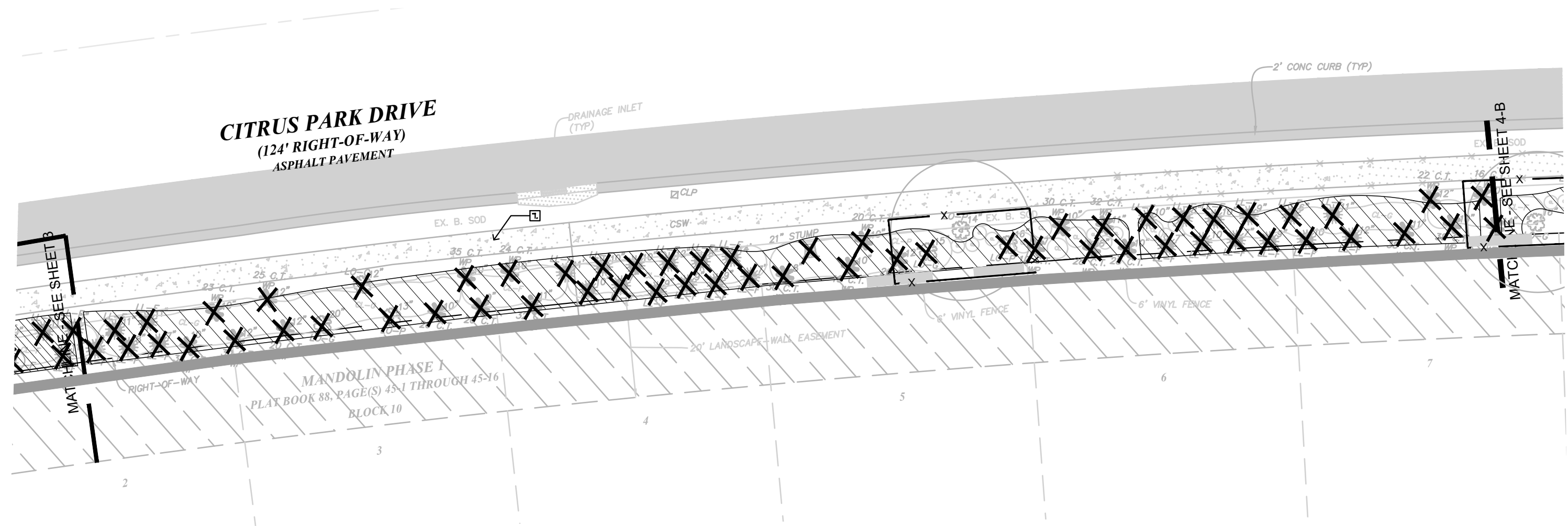
QA/QC: CRN

NLA JOB NO.: PP21-1.2

SHEET NUMBER:

T-3





PLAN SHEET "A"

TREE PROTECTION & REMOVAL LEGEND

EXISTING TREE (TO REMAIN) WITH APPROXIMATE LIMIT OF DRIPLINE/TREE PROTECTION ZONE. (SEE EXISTING PLANT MATERIAL LEGEND FOR MORE INFORMATION)(THIS SHEET)), TYP.

EXISTING TREE REMOVAL AND STUMP - FOR NEW CONSTRUCTION ACTIVITY (STUMP GRIND TRUNK/ ROOTS TO 18" DEPTH, CLEAR AND GRUB) , TYP.

SPECIFIC PLAN NOTE INDICATOR, TYP.

LIMIT OF CLEARING AND GRUBBING. REMOVE ALL SHRUBS, GROUNDCOVER, ROOTS, DEBRIS AND INVASIVE PLANT MATERIAL WITHIN THIS AREA, PER COUNTY REQUIREMENTS. REGRADE TO MATCH LANDSCAPE AND SURVEY PLANS, TYP.

PROPOSED TREE PROTECTION BARRICADE (FOLLOW COUNTY STANDARDS), TYP.

EXISTING SHRUBS AND GROUNDCOVER, TYP.

DEMOLISH EXISTING MASONRY WALL, MASONRY COLUMNS, PVC FENCING AND ORNAMENTAL FENCING, TYP.

ROOT PRUNING LINE/ LIMIT. ROOT PRUNE TO DEPTH OF 24" WITH DOSCO OR EQ. ROOT PRUNING MACHINE. USE CLEAN, SHARP BLADE FOR EACH TREE.

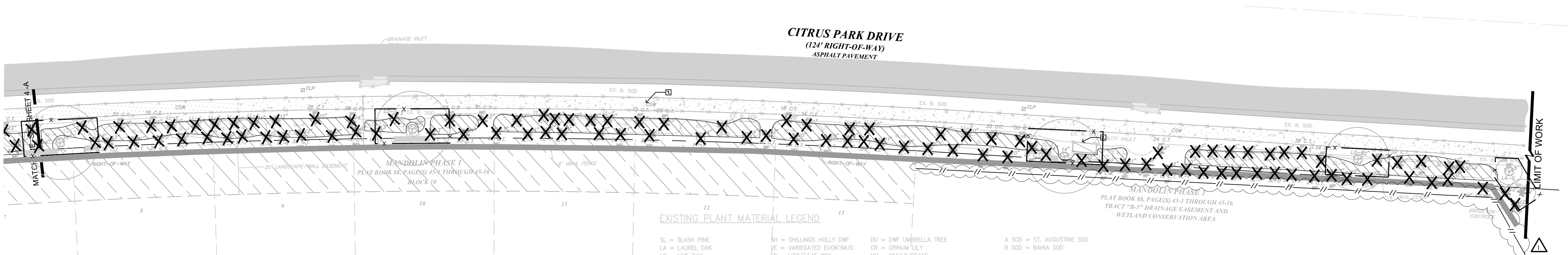
PROPOSED STAKED SILT FENCE.

GENERAL TREE PROTECTION AND DEMOLITION NOTES:

- CONTRACTOR SHALL STRIP ALL OLD SOD AND ROTOTILL WITH SOIL MIX AS PER LANDSCAPE NOTES. PRIOR TO TREE, SHRUB, SOD AND GROUNDCOVER INSTALLATION CONTRACTOR SHALL PROVIDE A FINISH GRADE FOR THESE AREAS PER LANDSCAPE AND ORIGINAL SURVEY.
- CONTRACTOR SHALL REMOVE ALL DUST AND DEBRIS OFF SITE DAILY, PER LOCAL CODE AND ORDINANCES.
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- ARBORIST TO INCLUDE PRUNING LOT TREES ON PRIVATE PROPERTY AND CREATE A 4' DIFFERENCE ON WALL.

SPECIFIC PLAN NOTES:

- PROTECT EXISTING TREES DURING CONSTRUCTION. HAND DIS/CUT AROUND EACH TREE ROOT AS APPROPRIATE, PER ISA AND ANSI - A300 STANDARDS.
- PROTECT EXISTING UTILITIES DURING DEMOLITION.
- PROTECT EXISTING LIGHT FIXTURES DURING DEMOLITION.
- DEMOLISH EXISTING BOULDERS.
- DEMOLISH EXISTING LANDSCAPE STONE.
- PROTECT EXISTING COLUMNS AND ORNAMENTAL FENCE IN THIS AREA DURING DEMOLITION.
- CONTRACTOR SHALL PROTECT EXISTING SIDEWALK AND PLANTER WALLS FROM HEAVY EQUIPMENT. ANY DAMAGE SHALL BE AT CONTRACTORS' EXPENSE.



PLAN SHEET "B"

EXISTING PLANT MATERIAL LEGEND

SL = SLASH PINE  
LA = LAUREL OAK  
LO = LIVE OAK  
LL = LOBLOLLY PINE  
MA = MAGNOLIA  
CM = GRAPE MYRTLE  
BM = BISMARCK PALM  
RC = RED CEDAR  
DP = PYGMY DATE PALM  
SP = SABAL PALM  
WP = WASHINGTON PALM  
WM = WAX MYRTLE  
CT = CURLY LEAF LIGUSTRUM TREE  
BT = BLUEBERRY TREE

SH = SHILLINGS HOLLY DWF  
YE = VAREGATED EUONYMUS  
LB = LITTLELEAF BOX  
GD = GOLDEN DENDROP  
IH = INDIAN HAWTHORN DWF  
CO = COONTIE  
LI = LIROPE  
PO = PODOCARPUS  
CL = LIGUSTRUM 'CURVY LEAF'  
SV = SWEET VIBURNUM  
FG = FAKAHATCHEE GRASS DWF  
OH = CHINESE HOLLY  
VA = VAREGATED ARBICOLA  
BC = BALD CYPRESS TREE

DU = DWF UMBRELLA TREE  
CR = CRinum LILY  
MU = MUHLI GRASS  
CF = CHINESE FRINGE FLOWER  
TI = TI PLANT  
YU = YUCCA  
EM = EMERALD BLANKET DWF NATAL PLUM  
AG = AGAPANTHUS  
CV = GARDEN CROTON VAREGATED  
TW = TWISTED GARDEN CROTON  
BD = BLUE DAZE  
CP = COPPER LEAF  
AL = ALLAMANDA  
VU = VAREGATED DWF. UMBRELLA TREE  
EX = EXISTING LIGHT FIXTURES

A SOD = ST. AUGUSTINE SOD  
B SOD = BAHIA SOD  
XX-G = GOOD CONDITION  
XX-F = FAIR CONDITION  
XX-S = SPARSE CONDITION  
XX-P = POOR CONDITION  
XX-D = DEAD

TREE LEGEND:  
● = CEDAR AND D.B.H.  
● = MAGNOLIA AND D.B.H.  
● = OAK AND D.B.H.  
● = PALM AND D.B.H.  
● = PINE AND D.B.H.  
● = LAUREL OAK AND D.B.H.  
● = GRAPE MYRTLE AND D.B.H.

DISCLAIMER:  
NICHOLS LANDSCAPE ARCHITECTURE, INC. ASSUMES NO LIABILITY FOR ALTERATIONS AND/OR CONSTRUCTION THAT DOES NOT CONFORM TO THE DESIGN DEPICTED ON THIS PLAN. NO CHANGES MAY BE MADE TO THIS PLAN WITHOUT EXPRESS WRITTEN CONSENT OF NICHOLS LANDSCAPE ARCHITECTURE, INC. IF ANY DEVIATIONS ARE REQUIRED FOR ANY REASON, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT MANAGER IMMEDIATELY.



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CLIENT:  
**PARK PLACE  
CDD c/o MERITUS**  
  
2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY  
  
SHEET TITLE:  
**MANDOLIN RESERVE  
FRONTAGE TREE  
REMOVAL AND  
PROTECTION PLAN**

| REVISIONS: |          |                                |
|------------|----------|--------------------------------|
| NO.        | DATE     | DESCRIPTION<br>COUNTY COMMENTS |
| 1.         | 10-14-22 |                                |

Celia R. Nichols, PLA, ASLA  
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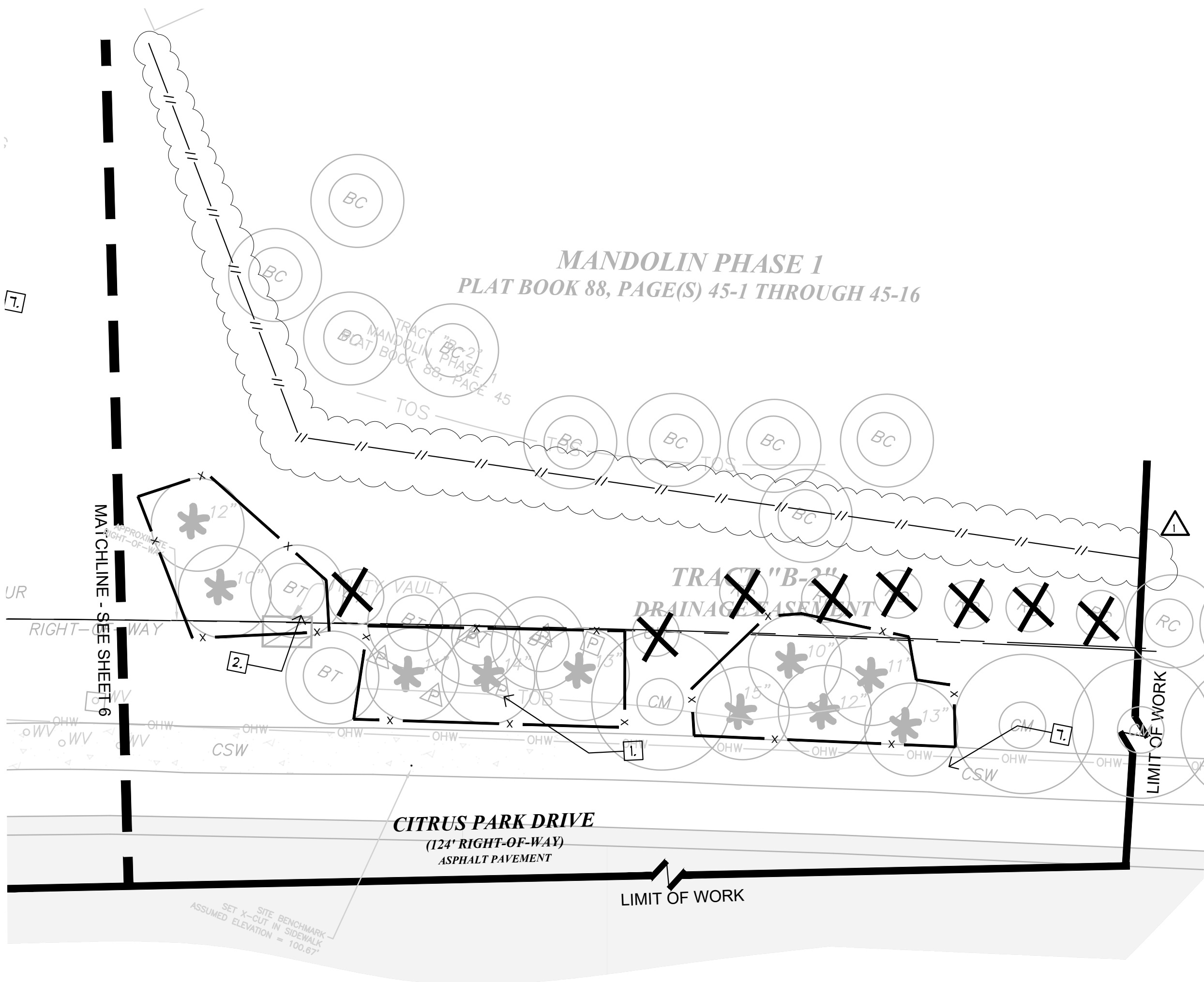
SHEET NUMBER:

T-4









EXISTING PLANT MATERIAL LEGEND

|                                |                               |
|--------------------------------|-------------------------------|
| SL = SLASH PINE                | DU = DWF UMBRELLA TREE        |
| LA = LAUREL OAK                | CR = CRINUM LILY              |
| LO = LIVE OAK                  | MU = MUHLY GRASS              |
| LL = LOBLOLLY PINE             | CF = CHINESE FRINGE FLOWER    |
| MA = MAGNOLIA                  | TI = TI PLANT                 |
| OM = CRAPE MYRTLE              | YU = YUCCA                    |
| BM = BISMARK PALM              | EM = EMERALD BLANKET DWF NATA |
| RC = RED CEDAR                 | AG = AGAPANTHUS               |
| DP = PYGMY DATE PALM           | CV = GARDEN CROTON VARIEGATED |
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| CO = COONTIE                   |                               |
| LI = LIROPE                    |                               |
| PD = PODOCARPUS                |                               |
| CL = LIGUSTRUM 'CURVY LEAF'    |                               |
| SV = SWEET VIBURNUM            |                               |
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| CH = CHINESE HOLLY             |                               |
| VA = VARIEGATED ARBICOLA       |                               |
| ▶ = EXISTING LIGHT FIXTURES    |                               |

|                         |
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| XX-G = GOOD CONDITION   |
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|                             |
|-----------------------------|
| TREE LEGEND                 |
| ● = CEDAR AND D.B.H.        |
| ● = MAGNOLIA AND D.B.H.     |
| ● = OAK AND D.B.H.          |
| ● = PALM AND D.B.H.         |
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| ● = LAUREL OAK AND D.B.H.   |
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TREE PROTECTION & REMOVAL LEGEND

|  |  |
|--|--|
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|  | SPECIFIC PLAN NOTE INDICATOR, TYP.   |
|  | LIMIT OF CLEARING AND GRUBBING. REMOVE ALL SHRUBS, GROUNDCOVER, ROOTS, DEBRIS AND INVASIVE PLANT MATERIAL WITHIN THIS AREA. PER COUNTY REQUIREMENTS. REGRADE TO MATCH LANDSCAPE AND SURVEY PLANS, TYP. |
|  | PROPOSED TREE PROTECTION BARRICADE (FOLLOW COUNTY STANDARDS), TYP.   |
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|  | DEMOLISH EXISTING MASONRY WALL, MASONRY COLUMNS, PVC FENCING AND ORNAMENTAL FENCING, TYP.  |
|  | ROOT PRUNING LINE/ LIMIT. ROOT PRUNE TO DEPTH OF 24" WITH DOSCO OR EQ. ROOT PRUNING MACHINE. USE CLEAN, SHARP BLADE FOR EACH TREE.   |
|  | PROPOSED STAKED SILT FENCE.  |

GENERAL TREE PROTECTION AND DEMOLITION NOTES:

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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT**  
**PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN ESTATES**  
**TREE REMOVAL AND**  
**PROTECTION PLAN**

REVISIONS:

| NO. | DATE     | DESCRIPTION     |
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| 1.  | 10-14-22 | COUNTY COMMENTS |

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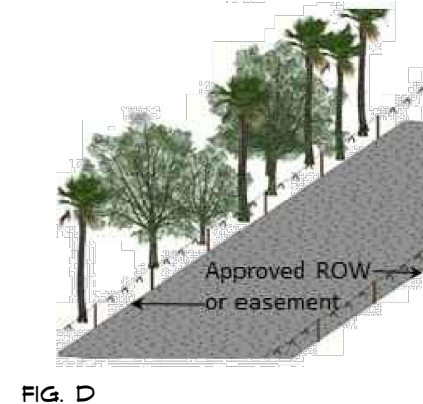
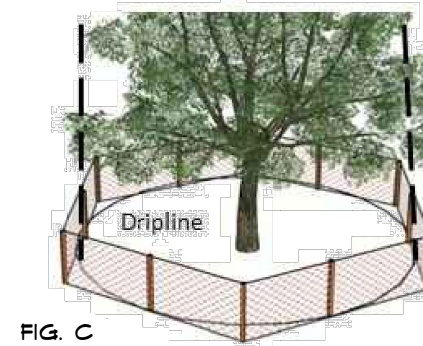
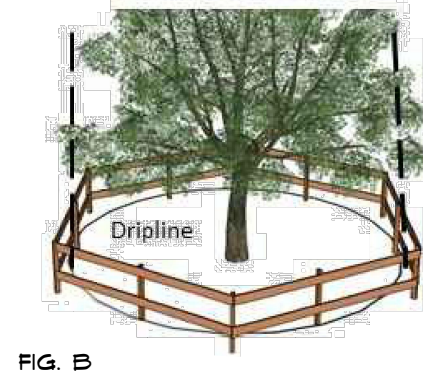
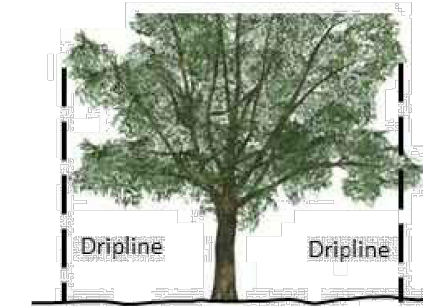
**T-6**



ALL TREES SHOULD BE PROTECTED MEETING THE SPECIFICATIONS AS ILLUSTRATED ON THE ATTACHED DIAGRAM.

PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREAS TO BE RETAINED ON A SITE.

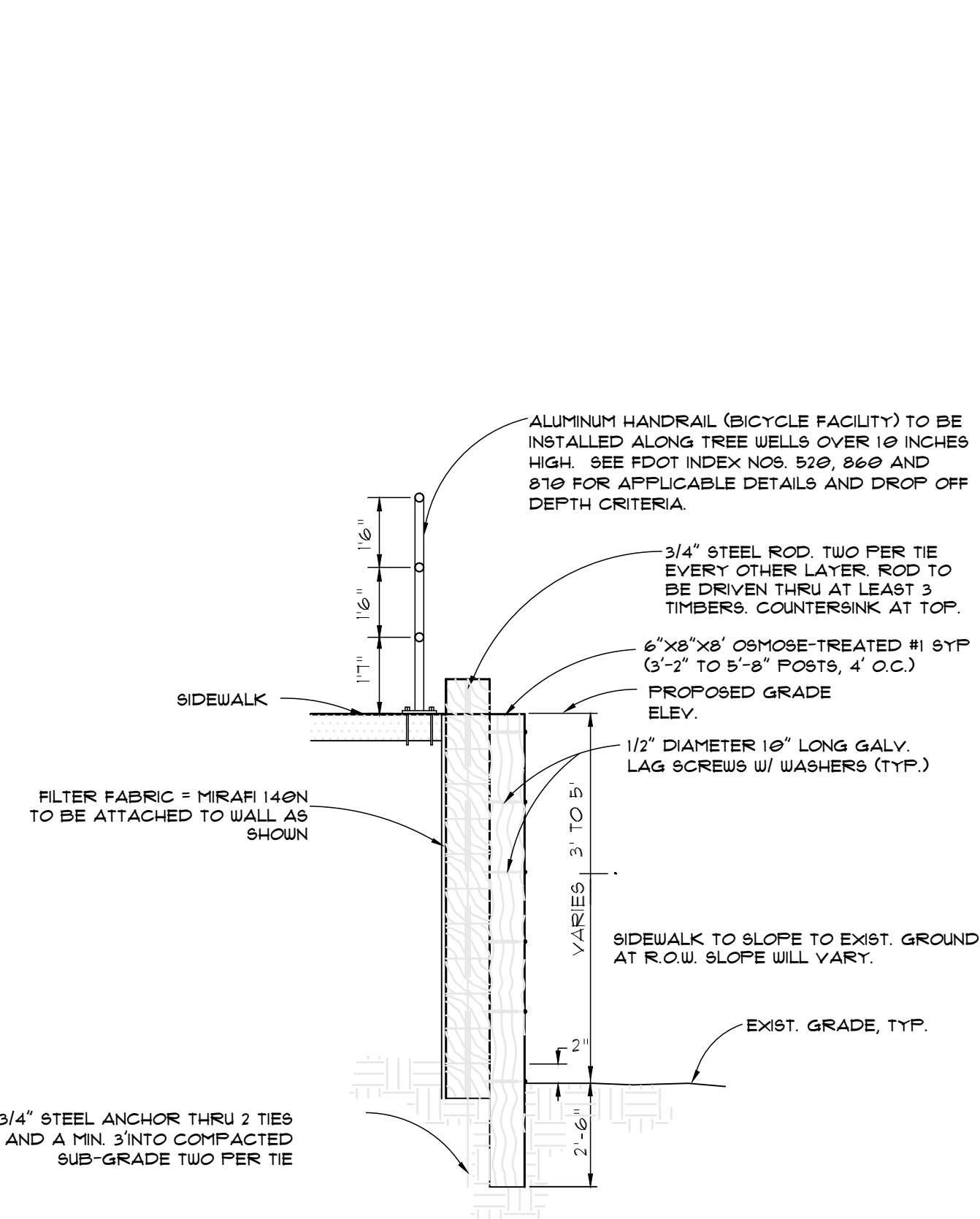
PROTECTIVE BARRIERS MUST BE ERECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION AND CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SOODING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA.



FOR ADDITIONAL INFORMATION, CONTACT THE NATURAL RESOURCES (DEVELOPMENT SERVICES DEPARTMENT). TELEPHONE: 813-212-5600

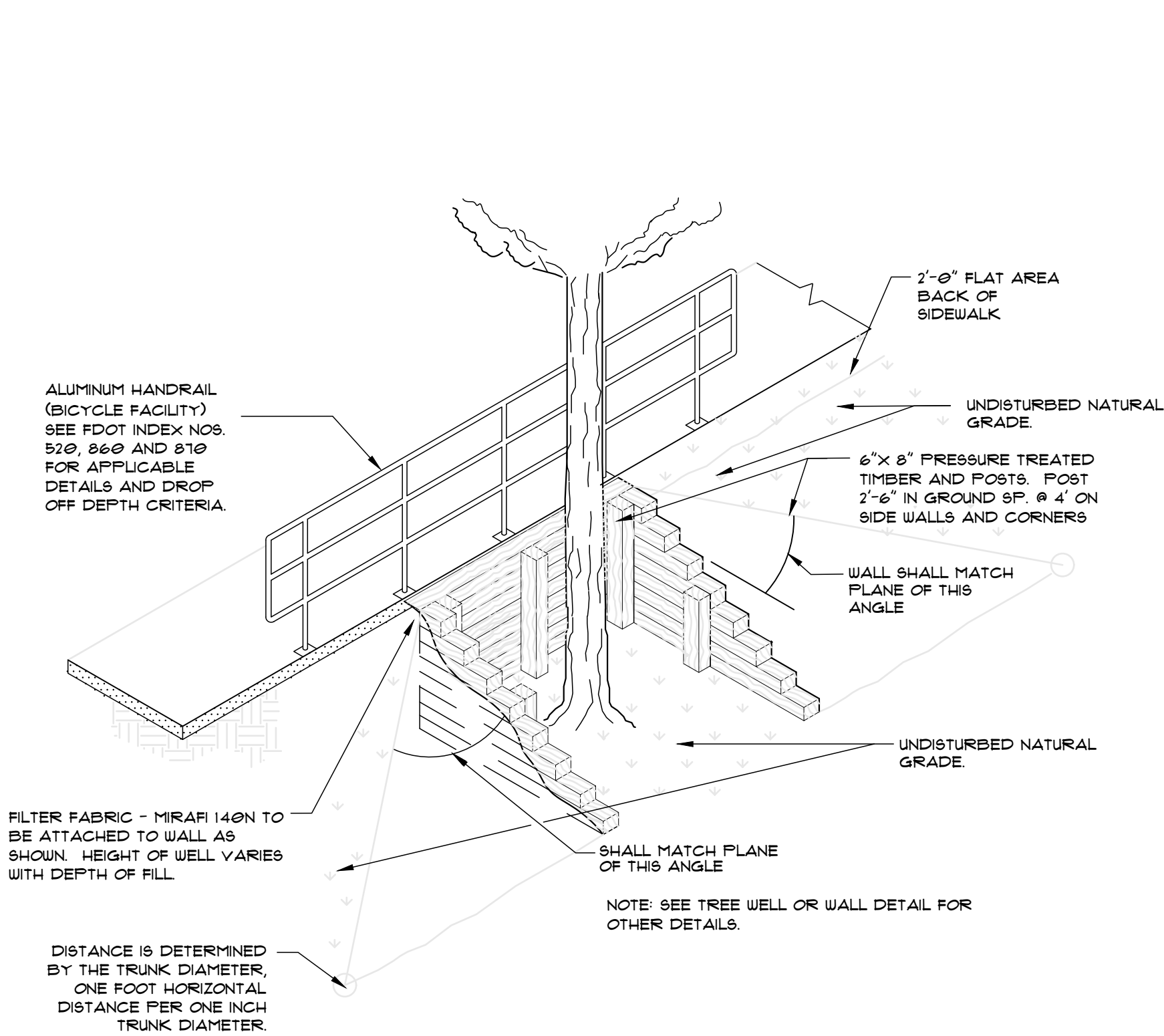
## 1 TYPICAL TREE PROTECTION DETAILS

TD-1 N.T.S.



## 4 TYPICAL TREE WELL OR WALL DETAIL

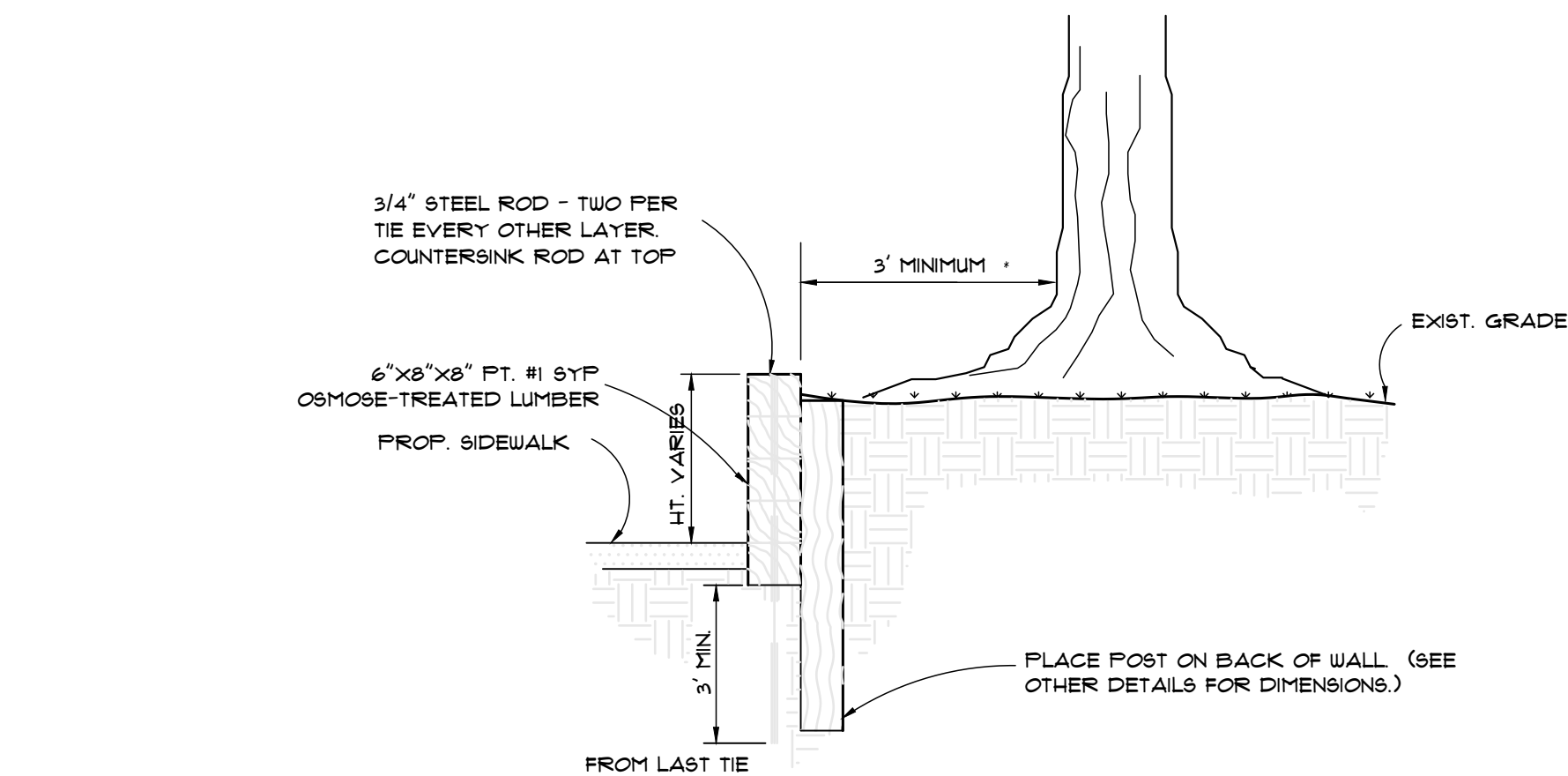
TD-1 N.T.S. (NOTE: NONE ANTICIPATED ON THIS PROJECT)



## 2 TYPICAL TREE WELL PROTECTION AREA

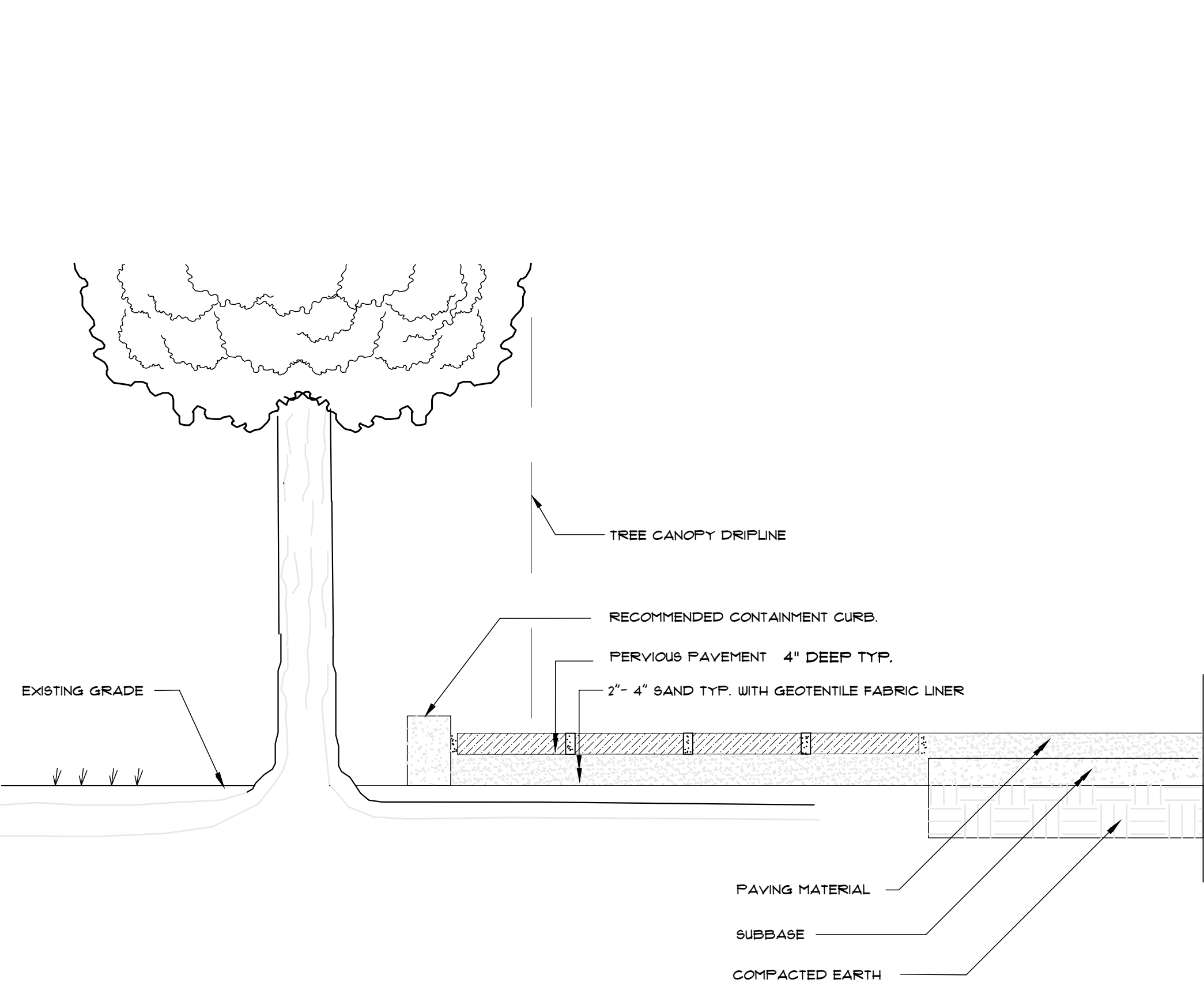
TD-1 N.T.S. (NOTE: NONE ANTICIPATED ON THIS PROJECT)

- GENERAL BARRICADE AND WALL/ WELL NOTES:
- TREE BARRICADES ARE TO BE INSPECTED AND APPROVED BY THE COUNTY PRIOR TO THE COMMENCEMENT OF ANY CLEARING OR CONSTRUCTION ACTIVITIES.
  - IF A RETAINING WALL IS INSTALLED, THEN ITS INSTALLATION SHALL BE PLACED NO NEARER THE TREE TRUNK THAN 3 TIMES THE TRUNKS DIAMETER. MEASURED AT 4.5 FEET ABOVE THE NATURAL GROUND WHEN NO MORE THAN 30% OF THE TREES ROOT SYSTEM WILL BE SEVERED.
  - UNLESS OTHERWISE REQUIRED BY THE ENGINEER, THE CONTRACTOR SHALL PROVIDE A TREE WALL AT ALL LOCATIONS WHERE GROUND ELEVATIONS WILL DIFFER BY 6 INCHES OR MORE WITH PROPOSED CONSTRUCTION. THE WALL SHALL BE A MINIMUM OF THREE FEET FROM THE OUTSIDE EDGE OF THE TREE AND EXTEND BEYOND THE TREE CANOPY BY A FACTOR OF TWO (2) OR UNTIL THE GROUND ELEVATIONS ARE 6" OR LESS.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER FOR EACH WALL/ WELL AS REQUIRED FOR THIS SITE. INCLUDE MATERIALS, QUALITY, FASTENERS, CONSTRUCTION METHODS AND GRADES.
  - NO TREE RETAINING WALL OR WELL IS ANTICIPATED FOR THIS PROJECT.



## 5 TYPICAL SPECIAL WALL DETAIL

TD-1 N.T.S. (NOTE: NONE ANTICIPATED ON THIS PROJECT)



## 3 TYPICAL PERVIOUS PAVEMENT

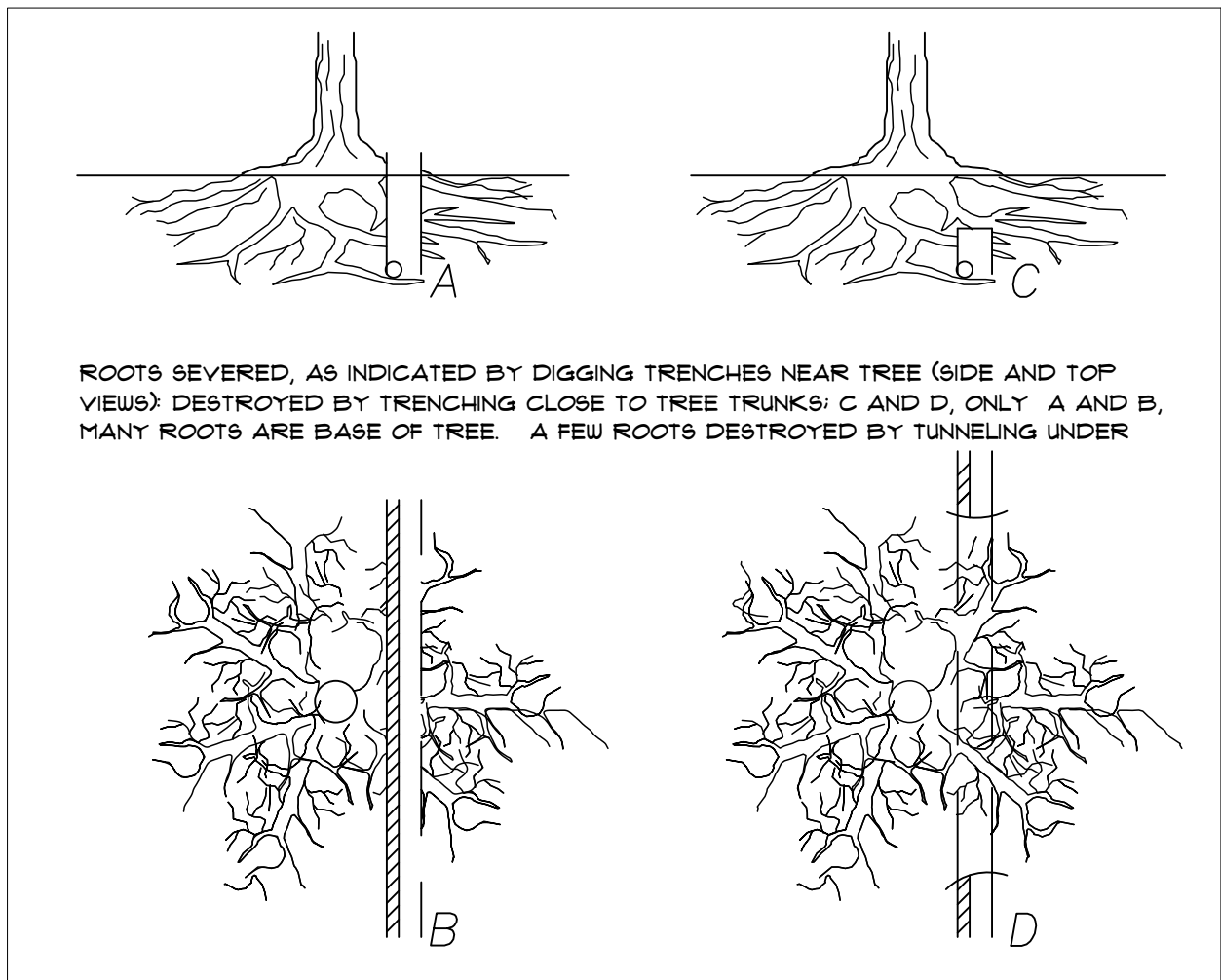
TD-1 N.T.S. (NOTE: NONE ANTICIPATED ON THIS PROJECT)

### EXCAVATIONS

WHEN DEEP SOIL CUTS ARE MADE OVER THE ENTIRE AREA OCCUPIED BY THE ROOTS, IT IS DIFFICULT TO MAIN-TRAIN THE HEALTH OF TREES. LOWERING THE GRADE 6-8 INCHES WILL REMOVE A MAJOR PORTION OF THE TOP SOIL AND MOST OF THE FEEDER ROOTS. A LOSS OF 1/2 TO 1/3 OF THESE SURFACE ROOTS WILL KILL THE TREE.

TO PRESERVE THE TREE AND AVOID ROOT DAMAGE WHEN CUTTING A GRADE, CURVE OR ZIG-ZAG AROUND THE ROOTS AS MUCH AS POSSIBLE. THE AREA OF THE DRIPLINE SHOULD BE SUFFICIENT. TOP SOIL IS AN EXTREMELY IM-PORTANT FACTOR IN THE SURVIVAL OF A TREE.

ROOTS SHOULD BE CUT CLEANLY.



TREES CAN BE PROTECTED WHEN EXCAVATION FOR WATER AND SEWER LINES IS PERFORMED. START BY CONSIDERING THE LOCATION OF THE TRENCHES. IF THE TRENCHES CANNOT BE ROUTED AROUND THE TREES AND OUTSIDE THE DRIPLINE, THE NEXT BEST THING IS TO TUNNEL UNDER THEM.

DEEP GRADE CHANGES WILL REQUIRE A RETAINING WALL. THE WALL SHOULD BE POROUS TO ALLOW FOR AERATION. CONSTRUCTION IS SIMILAR TO DRY WELL.

WATER FREQUENTLY UNTIL THE TREE BECOMES RECOVERED. SEVERE ROOT DAMAGE WILL REQUIRE 6 MONTHS TO A YEAR FOR THE TREE TO FULLY RECOVER.

OAKS, MAPLES, BAYS, AND CONIFERS ARE AMONG THE SPECIES MOST SUSCEPTIBLE TO GRADE CHANGES.

## 6 TYPICAL EXCAVATIONS

TD-1 N.T.S.

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813.948.8810 o. 877.246.3714 f.  
www.NICHOLS-LA.com

CLIENT:

## PARK PLACE CDD c/o MERITUS

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

## MANDOLIN ESTATES, MANDOLIN RESERVE AND WINDSOR PLACE

HILLSBOROUGH COUNTY

SHEET TITLE:

## TREE REMOVAL AND PROTECTION DETAILS

REVISIONS:

| NO. | DATE     | DESCRIPTION | COUNTY COMMENTS |
|-----|----------|-------------|-----------------|
| 1.  | 10-14-22 |             |                 |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22

DRAWN BY: SG

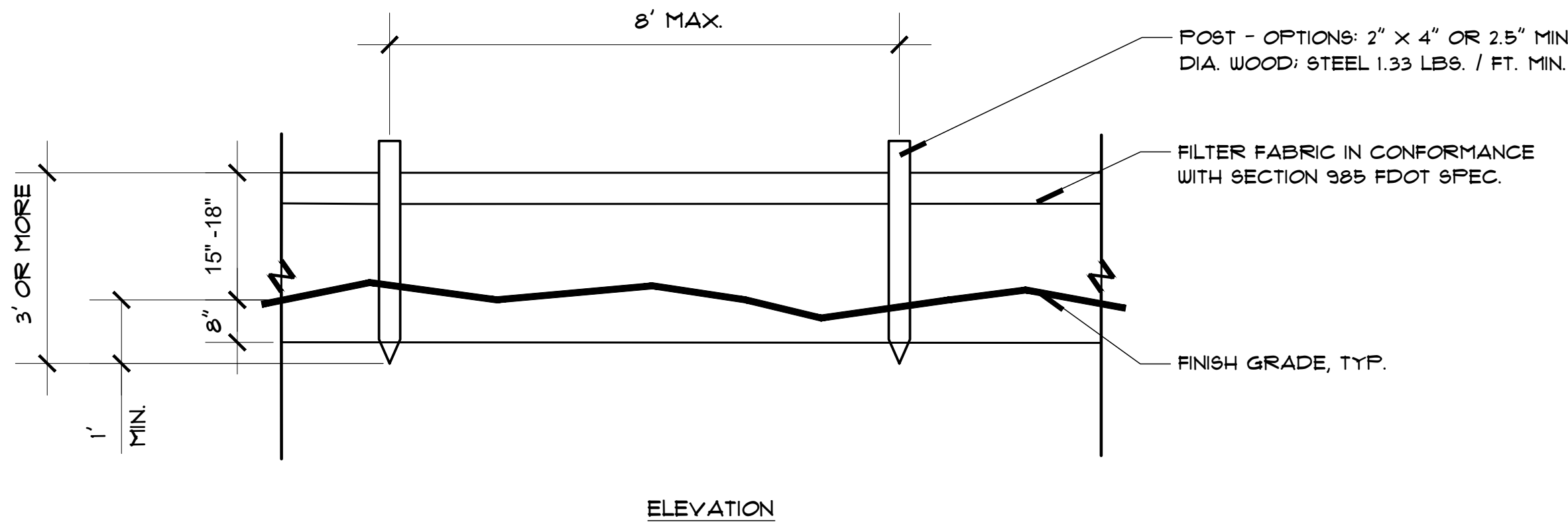
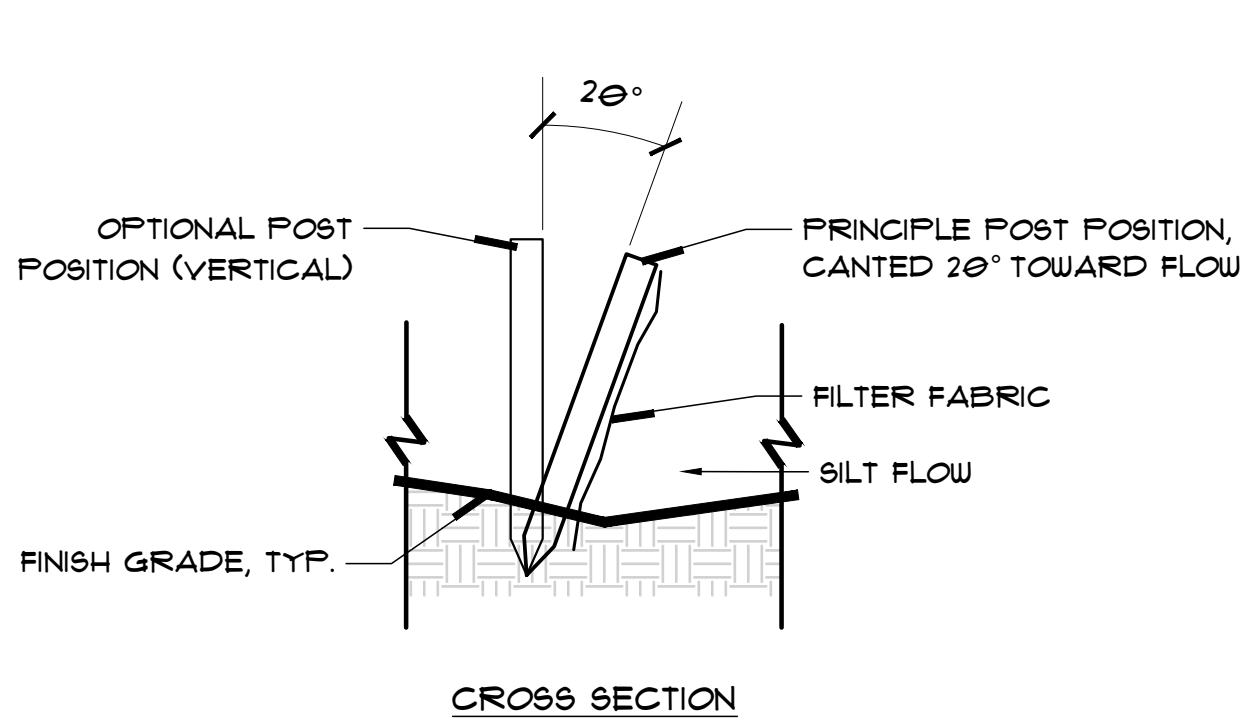
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NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**TD-1**

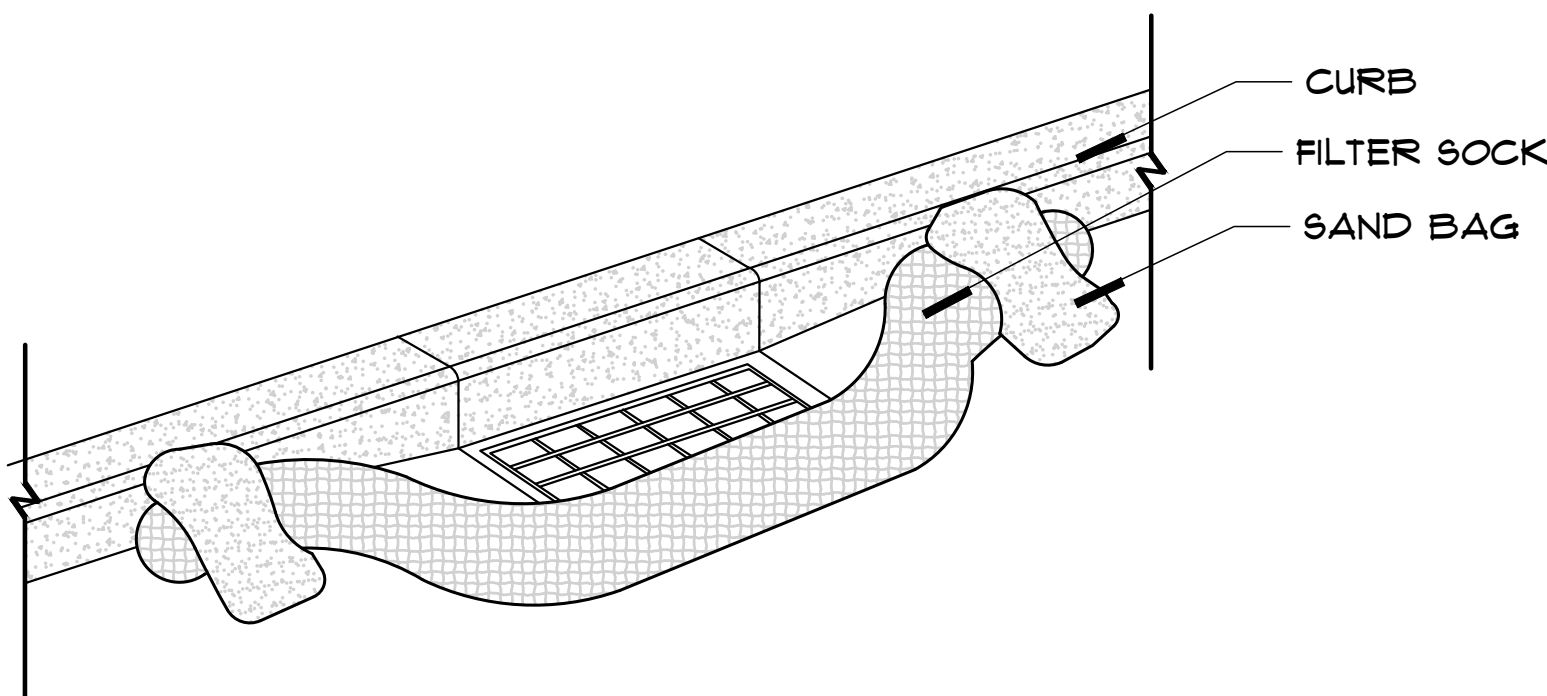




## 1 STAKED SILT FENCE

1/2" = 1'-0"

P-PA-MANR-MAND-32



1. FILTER SOCK SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURERES INSTRUCTIONS AND INSPECTED AND MAINTAINED IN OCCORDANCE WITH NPDES PERMIT AND STORMWATER POLLUTION PREVENTION PLAN.

### STORM INLET PROTECTION NOTES:

1. FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID JOINTS.
2. STAKES SHALL BE 2" X 4" WOOD (PREFERRED) OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
3. STAPLES SHALL BE OF HEAVY DUTY WIRE AT LEAST 1/2" LONG.
4. STAKES SHALL BE PLACED AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART AND SECURELY DRIVEN INTO THE GROUND A MINIMUM OF 8 INCHES. A FRAME OF 2" X 4" WOOD SHALL BE CONSTRUCTED AROUND THE TOP OF THE STAKES FOR PROPER STABILITY.
5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE AND 4" DEEP AROUND THE OUTSIDE PERIMETER OF THE STAKES.
6. THE BURLAP SHALL BE STAPLED TO THE WOODEN STAKES AND 3 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE HEIGHT OF THE FILTER BARRIER SHALL BE A MINIMUM OF 18 INCHES AND SHALL NOT EXCEED 18'.
5. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE BURLAP.
6. CONTRACTOR SHALL FOLLOW FDOT DESIGN STANDARDS INDEX 102 SHEET 3.

## 2 INLET PROTECTION AT CURB AREAS

1/2" = 1'-0"

P-PA-MANR-MAND-13

CLIENT:

## PARK PLACE CDD c/o MERITUS

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

## MANDOLIN ESTATES, MANDOLIN RESERVE AND WINDSOR PLACE

HILLSBOROUGH COUNTY

SHEET TITLE:

## TREE REMOVAL AND PROTECTION DETAILS

### REVISIONS:

| NO. | DATE     | DESCRIPTION     |
|-----|----------|-----------------|
| 1.  | 10-14-22 | COUNTY COMMENTS |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22

DRAWN BY: SG

QA/QC: CRN

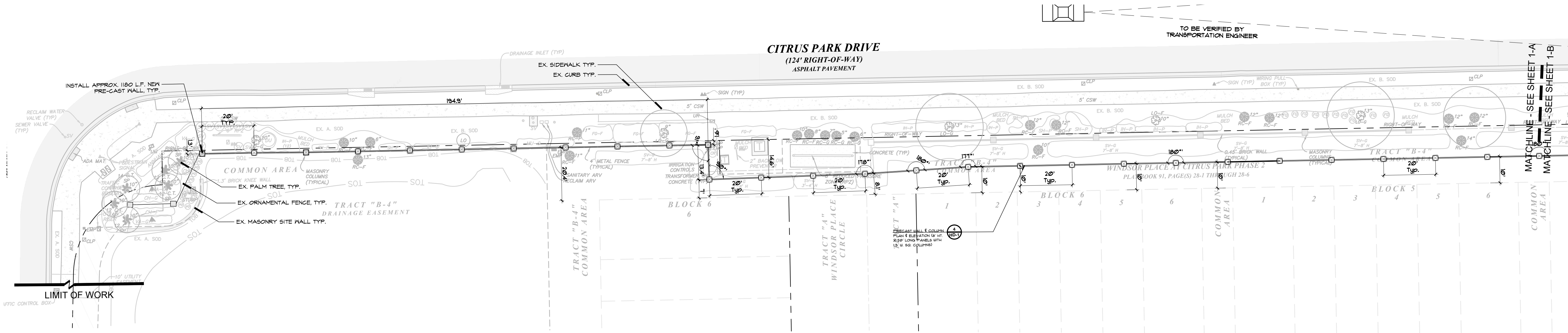
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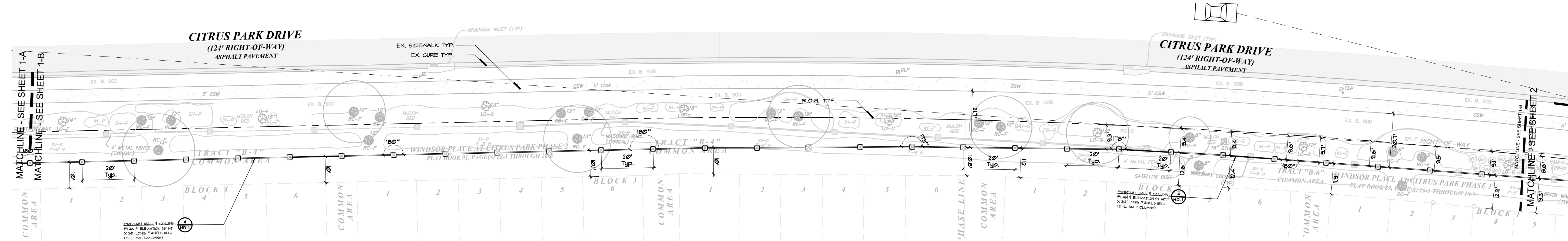
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PLAN SHEET "A"



PLAN SHEET "B"



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CLIENT:

**PARK PLACE  
CDD c/o MERITUS**

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

**MANDOLIN ESTATES,  
MANDOLIN RESERVE  
AND WINDSOR PLACE**

HILLSBOROUGH COUNTY

SHEET TITLE:

**HARDSCAPE  
CONSTRUCTION PLAN**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 02-22-22

DRAWN BY: SG

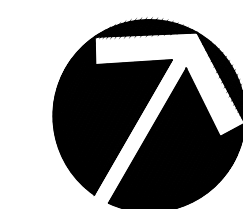
QA/QC: CRN

NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**H-1**





| Age Group | Percentage |
|-----------|------------|
| 18-24     | 10%        |
| 25-34     | 15%        |
| 35-44     | 20%        |
| 45-54     | 25%        |
| 55-64     | 30%        |
| 65-74     | 35%        |
| 75-84     | 40%        |
| 85-94     | 45%        |



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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT  
COMMUNITY SIGNS**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**WINDSOR PLACE  
ENTRANCE  
HARDSCAPE  
LAYOUT PLAN**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

Celia R. Nichols, PLA, ASLA  
LA0001518

Date \_\_\_\_\_

SUBMITTAL DATE: 05-25-22

DRAWN BY: SG

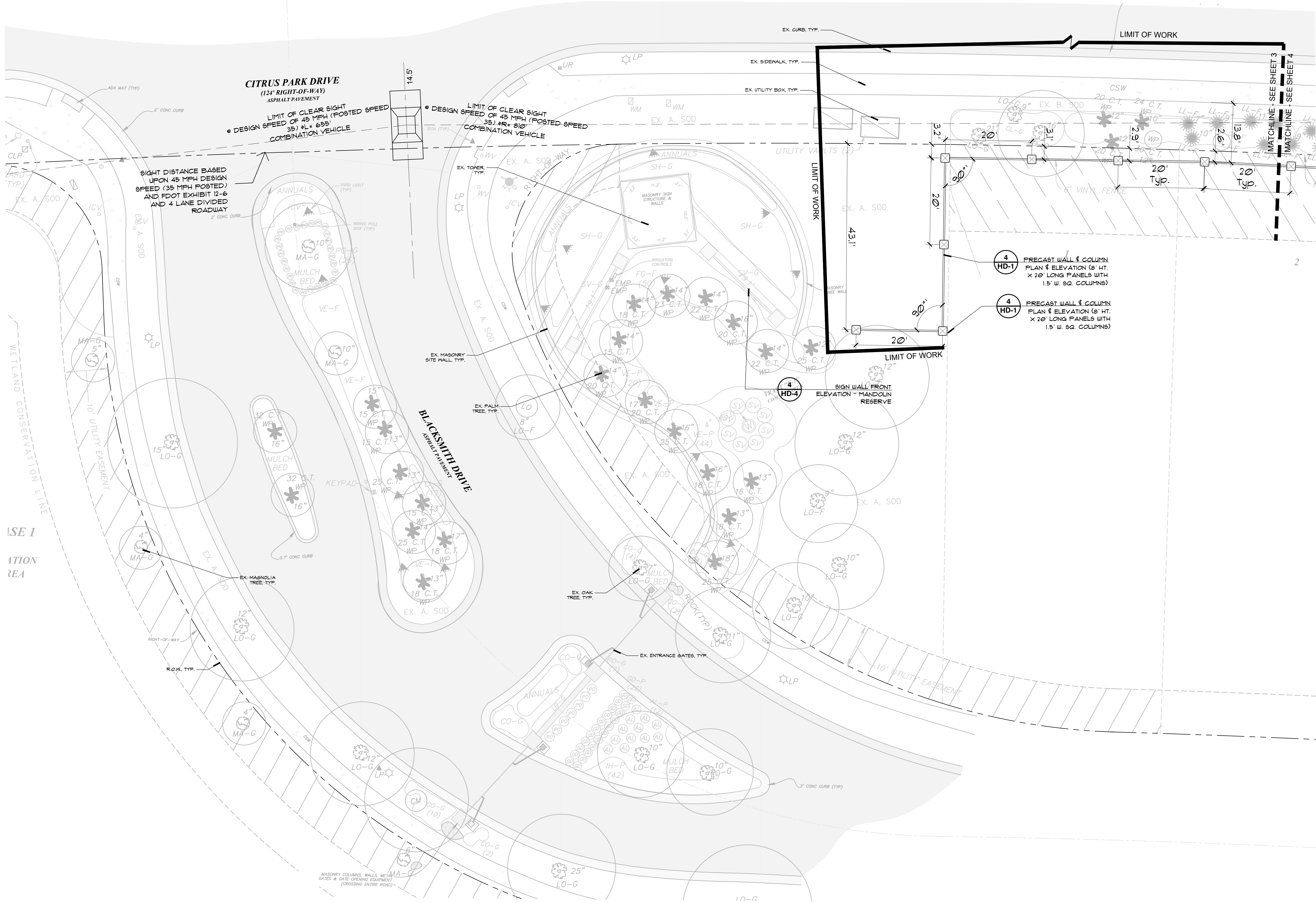
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NLA JOB NO.: PP21-1.2

SHEET NUMBER:

H-2





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PROJECT NAME:  
**ENHANCEMENT  
PROJECT  
COMMUNITY SIGNS**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN RESERVE  
ENTRANCE  
HARDSCAPE  
LAYOUT PLAN**

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |
|            |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22  
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NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**H-3**

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CLIENT:

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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

**MANDOLIN ESTATES,  
MANDOLIN RESERVE  
AND WINDSOR PLACE**

HILLSBOROUGH COUNTY

SHEET TITLE:

# HARDSCAPE CONSTRUCTION PLAN

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

Celia R. Nichols, PLA, ASLA  
LA0001518

Date \_\_\_\_\_

SUBMITTAL DATE: 02-22-22

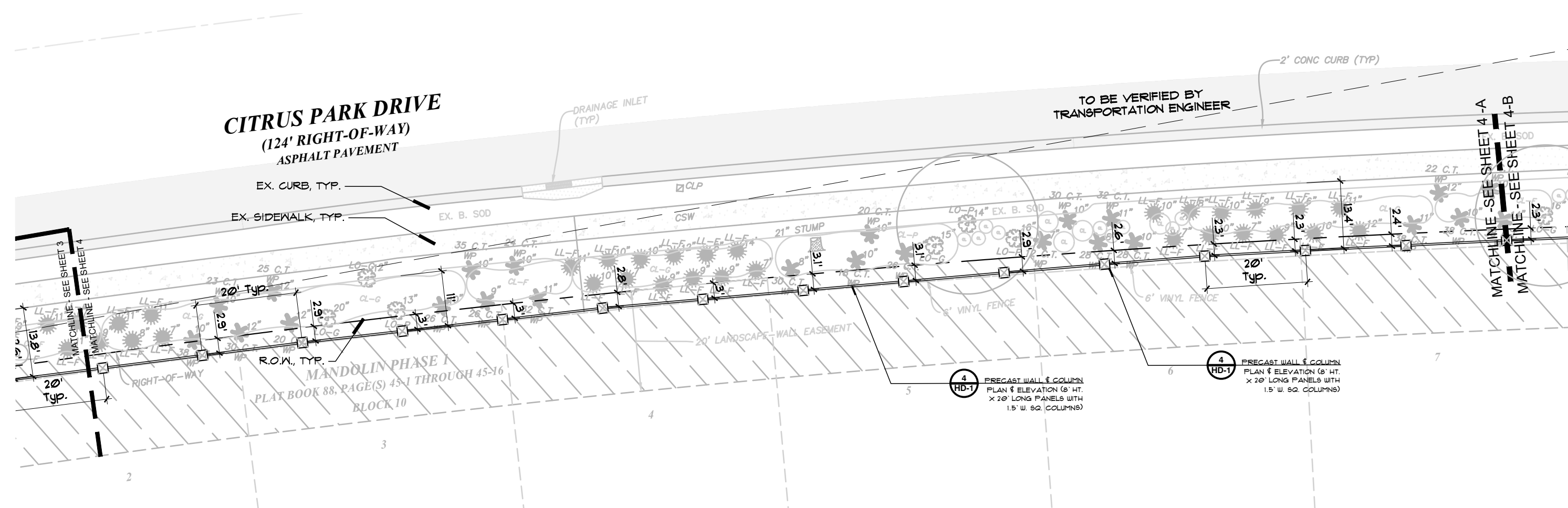
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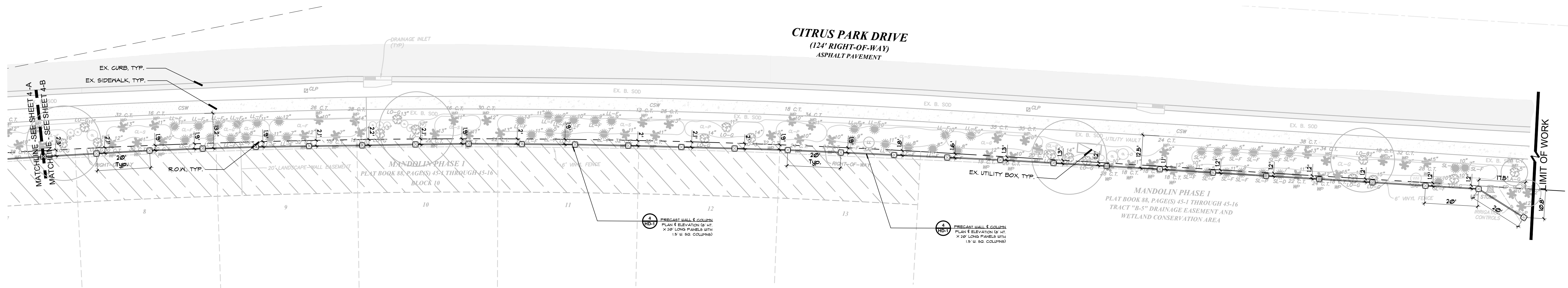
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SHEET NUMBER

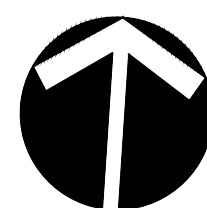
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PLAN SHEET "A"



PLAN SHEET "B"



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**PARK PLACE**  
**CDD c/o MERITUS**

PROJECT NAME:  
**ENHANCEMENT  
PROJECT  
COMMUNITY SIGNS**

SHEET TITLE:  
**MANDOLIN ESTATES  
ENTRANCE  
HARDSCAPE  
LAYOUT PLAN**

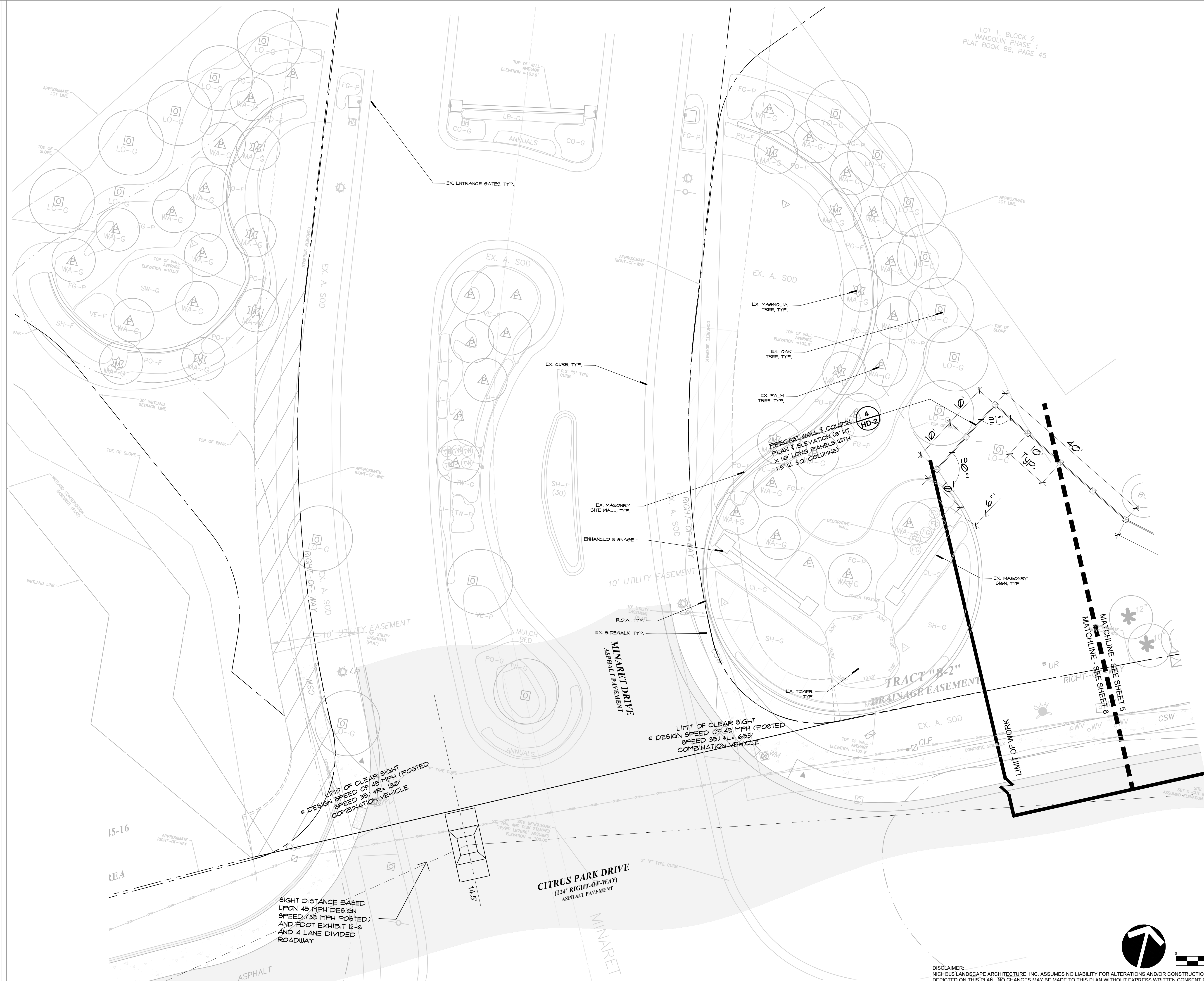
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Date \_\_\_\_\_

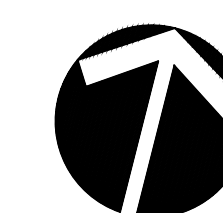
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H-5

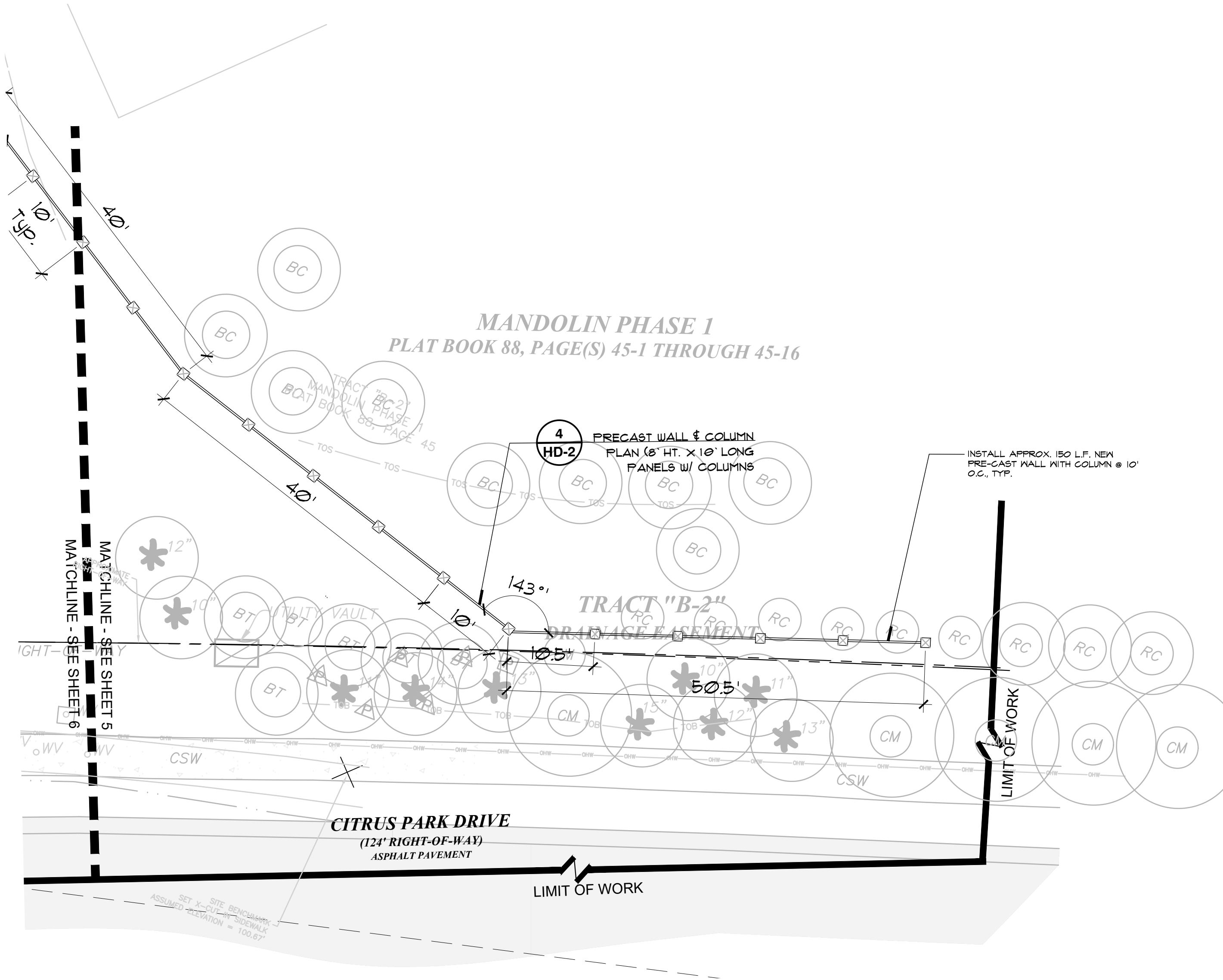
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CLIENT:

**PARK PLACE  
CDD c/o MERITUS**

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

**MANDOLIN ESTATES,  
MANDOLIN RESERVE  
AND WINDSOR PLACE**

HILLSBOROUGH COUNTY

SHEET TITLE:

**HARDSCAPE  
CONSTRUCTION PLAN**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 01-22-22

DRAWN BY: SG

QA/QC: CRN

NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**H-6**



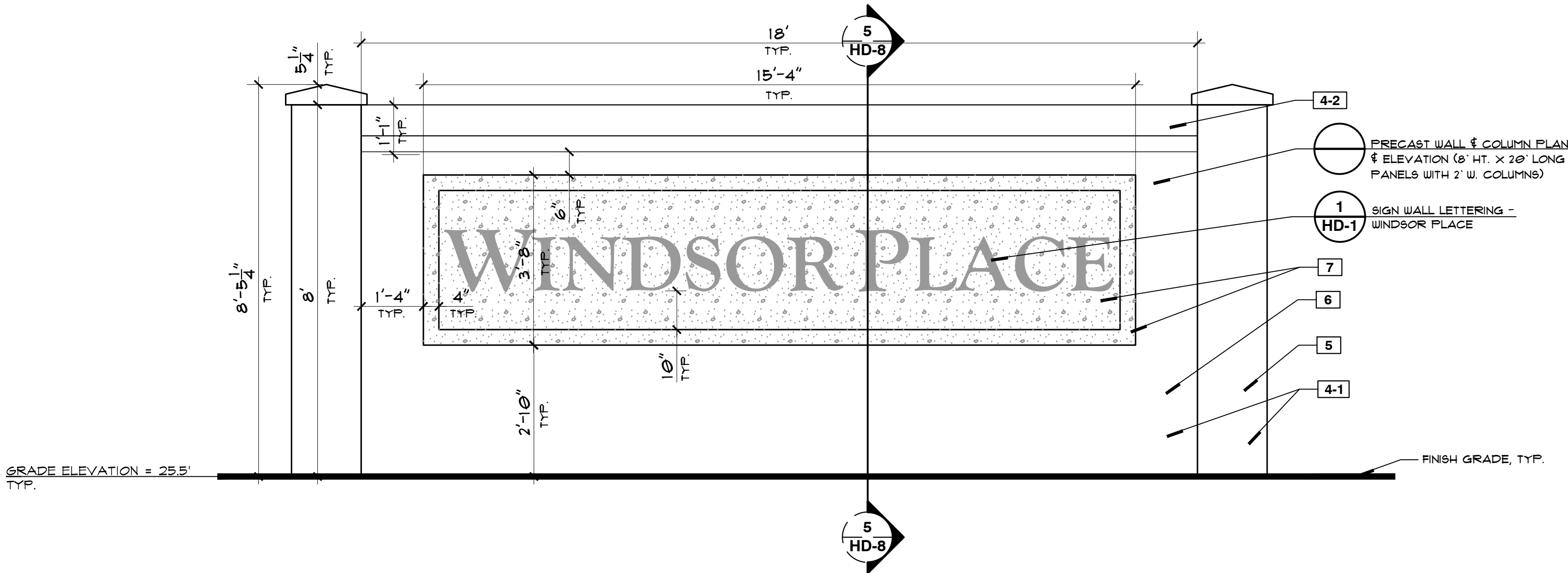
LETTERING NOTES:

1. INSTALL AFTER WALL & CAP ARE CONSTRUCTED & PAINTED.
2. CONTACT NLA FOR COPY OF VECTOR FILE FOR ALL LOGO AND LETTERINGS FOR THIS PROJECT.
3. INSTALL (1) SIGN, PER WALL.
4. ALL LETTERS TO BE  $\frac{3}{8}$ " TH. SOLID BRONZE
5. STUD MOUNT WITH S.S. HARDWARE AND SPACERS OFF OF FACE OF WALL
6. STUD MOUNTS TO BE (1) PER AVG 4" O.C. INCLUDING (1) AT EACH END/ TIP OF EACH LETTER
7. INSTALL USING  $\frac{1}{4}$ " X 4" TAPCON SCREWS, COUNTERSINK  $\frac{1}{8}$ " MIN.
8. SUBMIT SHOP DRAWING WITH PIN LOCATIONS, FONT STYLE, SPACING, ETC. TO L.A. FOR APPROVAL BEFORE FABRICATION. PROVIDE SAMPLE OF ONE LETTER, SHOWING STYLE, MATERIAL, SIZE & MOUNTING METHOD.



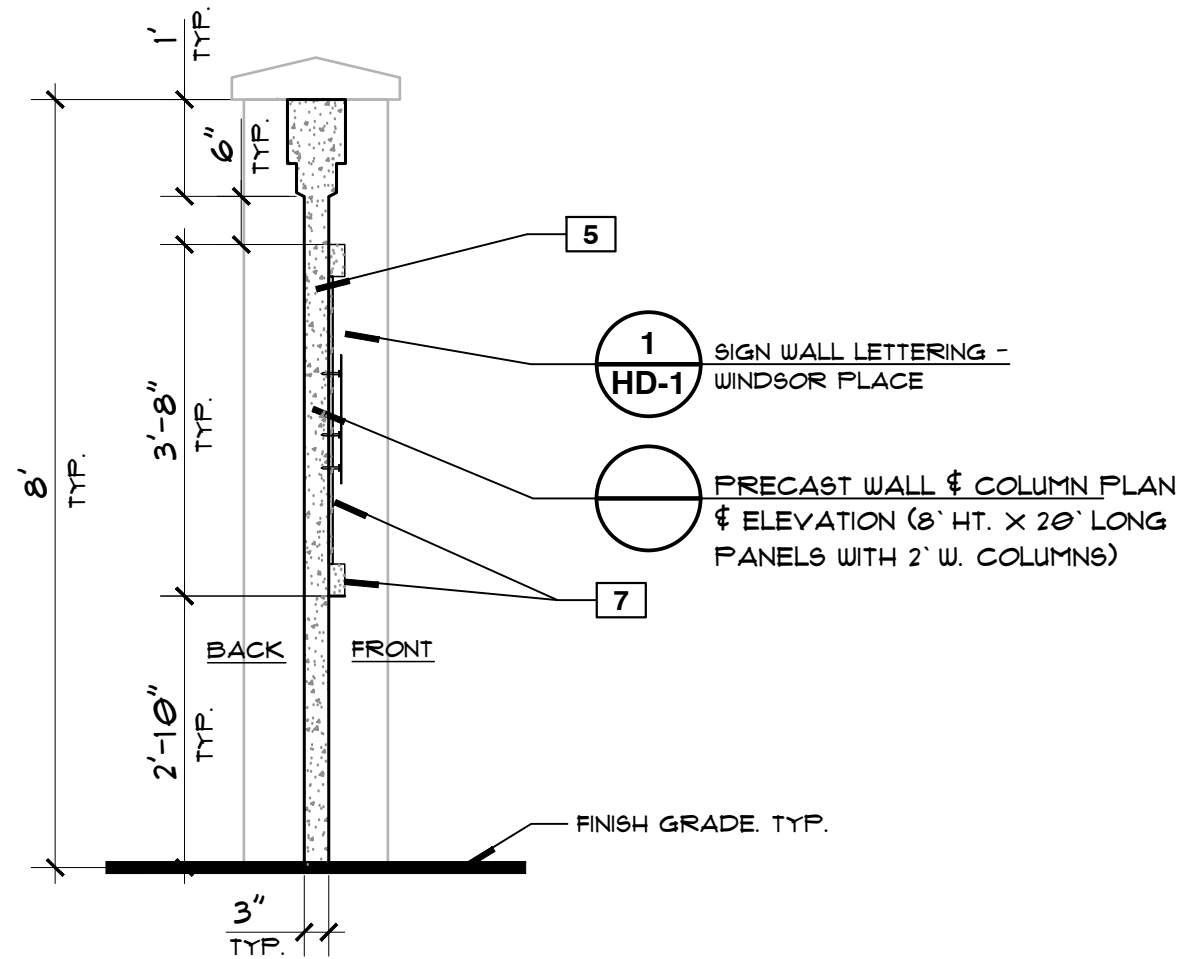
1 SIGN WALL LETTERING - WINDSOR PLACE  
3/4" = 1'-0"

P-PA-MANR-MAND-18



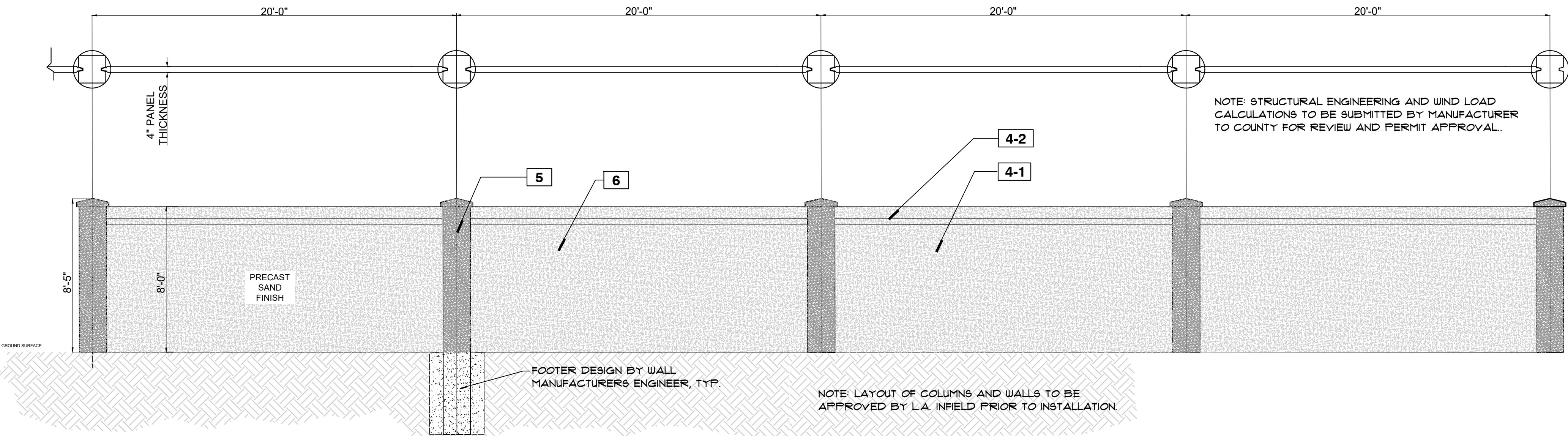
2 MONUMENT SIGN WALL ELEVATION - WINDSOR PLACE ENTRANCE  
1/2" = 1'-0"

P-PA-MANR-MAND-38



3 MONUMENT SIGN WALL SECTION - WINDSOR PLACE ENTRANCE  
1/2" = 1'-0"

P-PA-MANR-MAND-34



4 PRECAST WALL & COLUMN PLAN & ELEVATION (8' HT. X 20' LONG PANELS WITH 18' W. COLUMNS)  
1/4" = 1'-0"

P-PA-MANR-MAND-35

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CLIENT:  
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CDD c/o MERITUS**

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY  
SHEET TITLE:  
**WINDSOR PLACE SIGN  
CONSTRUCTION  
DETAILS**

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22  
DRAWN BY: SG  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

HD-1



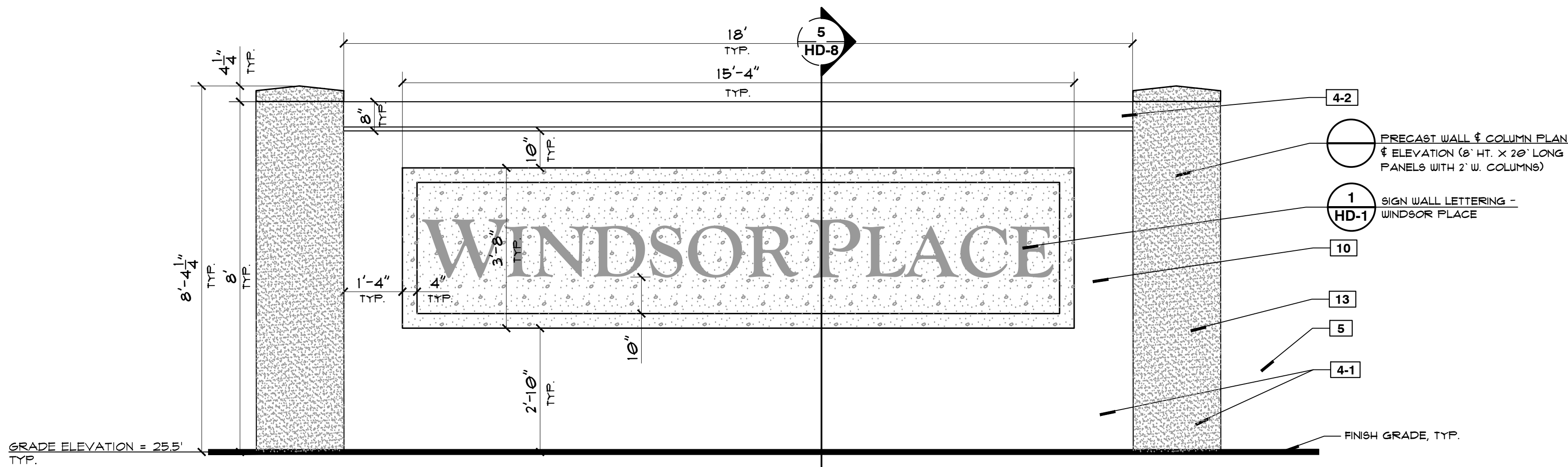
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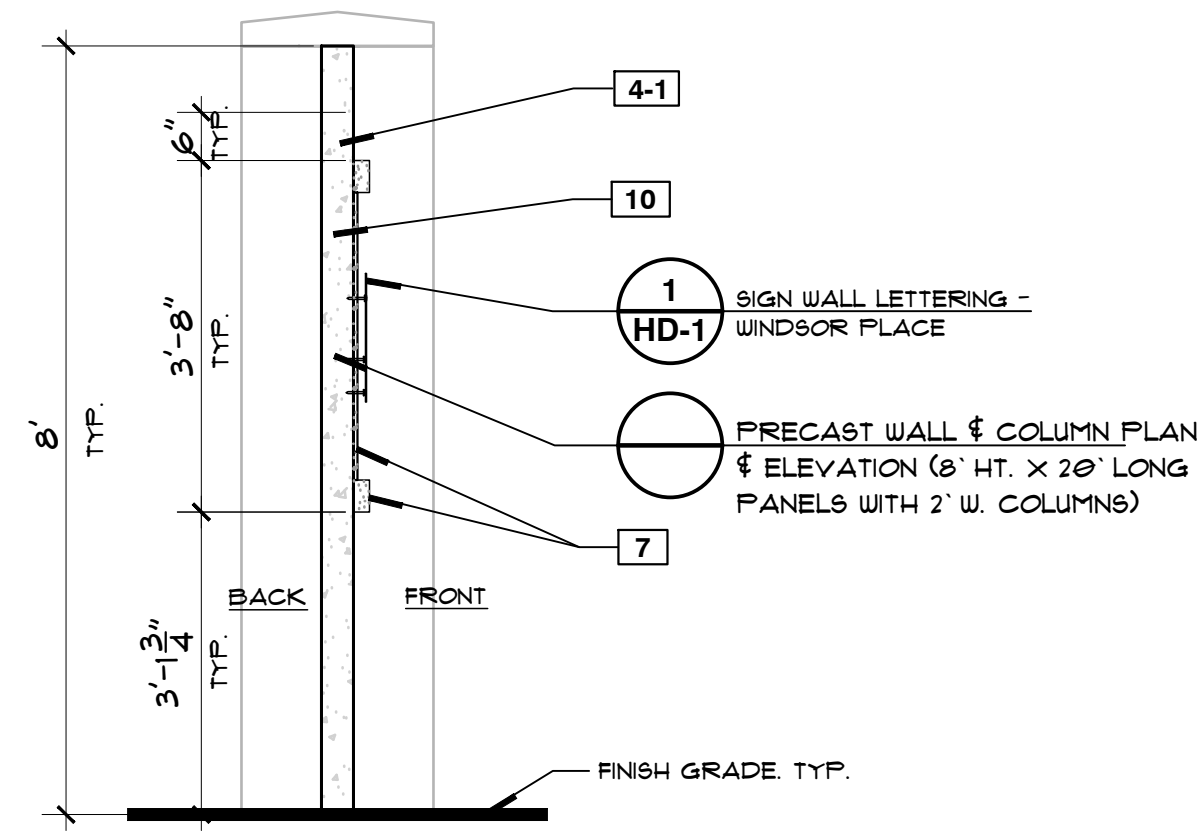
1 SIGN WALL LETTERING - WINDSOR PLACE  
3/4" = 1'-0"

P-FA-MANR-MAND-18



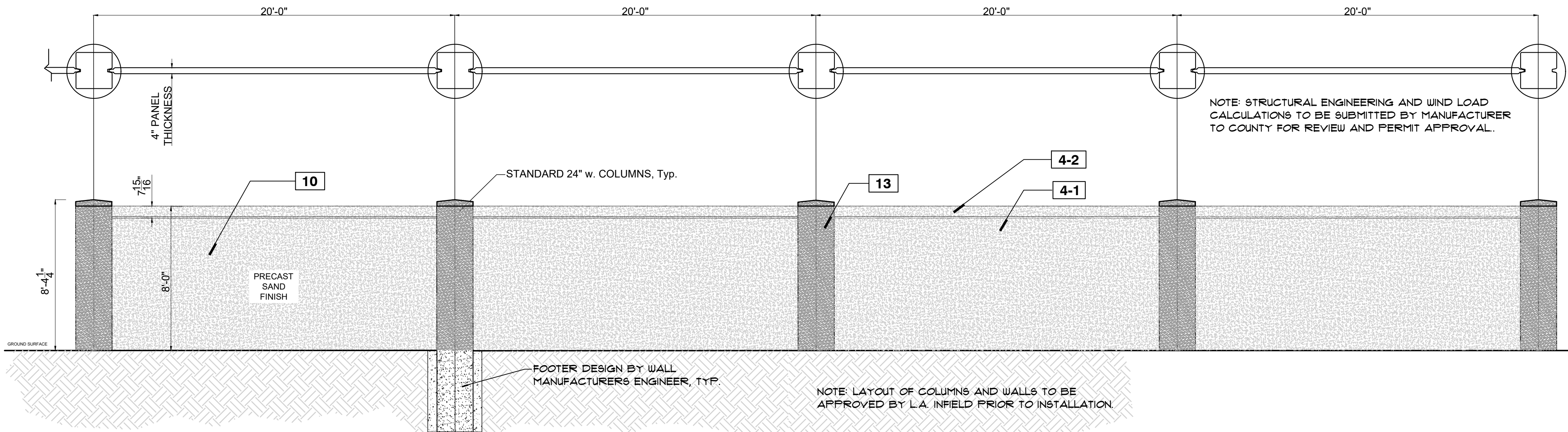
2 MONUMENT SIGN WALL ELEVATION - WINDSOR PLACE  
1/2" = 1'-0"

P-FA-MANR-MAND-31



3 MONUMENT SIGN WALL SECTION - WINDSOR PLACE  
1/2" = 1'-0"

P-FA-MANR-MAND-40



7 PRECAST WALL & COLUMN PLAN & ELEVATION (8' HT. X 20' LONG PANELS WITH 2' W. COLUMNS)  
1/4" = 1'-0"

P-FA-MANR-MAND-06

MANUFACTURER: PERMACAST  
STYLE: PERMAWALL 2.0 WALL SYSTEM (20' O.C. W/ 24" COLUMNS)  
FINISH: SMOOTH STUCCO  
CONTACT: JACOB BAKER  
PHONE: 309-513-3324  
CONTACT MANUFACTURER FOR EXACT CENTER TO CENTER DISTANCE. SEE HARDSCAPE PLAN LAYOUT OF WALL AND COLUMNS

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CLIENT:  
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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY  
  
SHEET TITLE:  
**WINDSOR PLACE SIGN  
CONSTRUCTION  
DETAILS**

| REVISIONS: |      |             |
|------------|------|-------------|
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Celia R. Nichols, PLA, ASLA  
LA0001518

Date

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PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN ESTATES &  
WALL DETAILS**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
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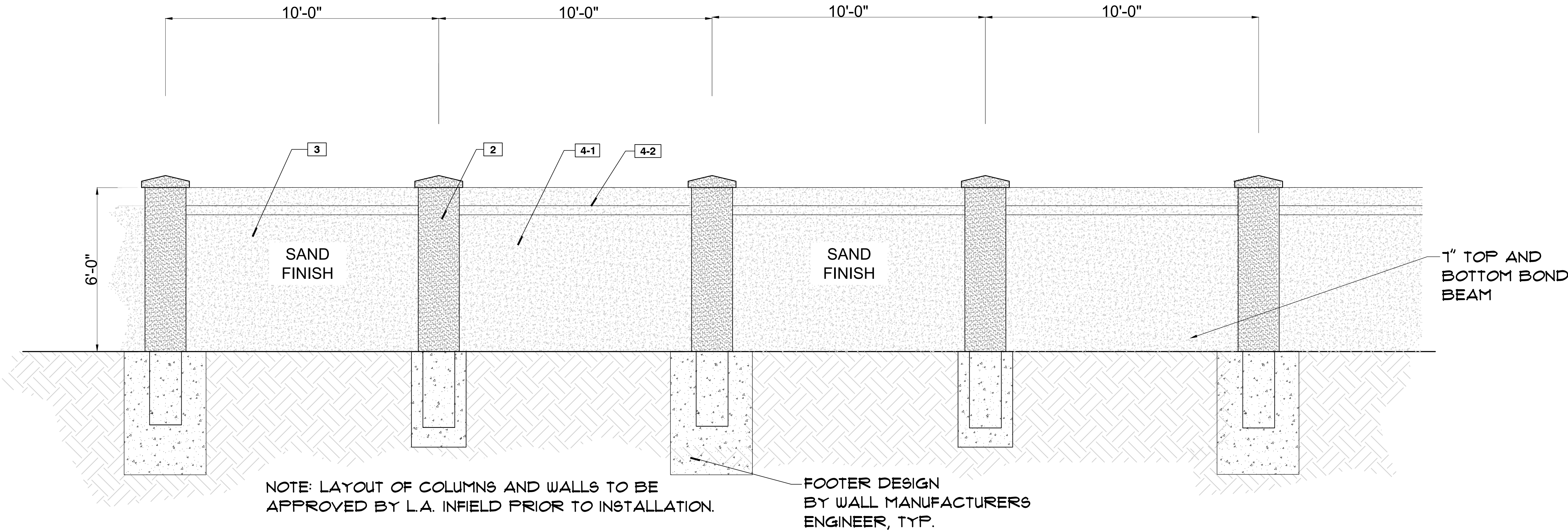
Date

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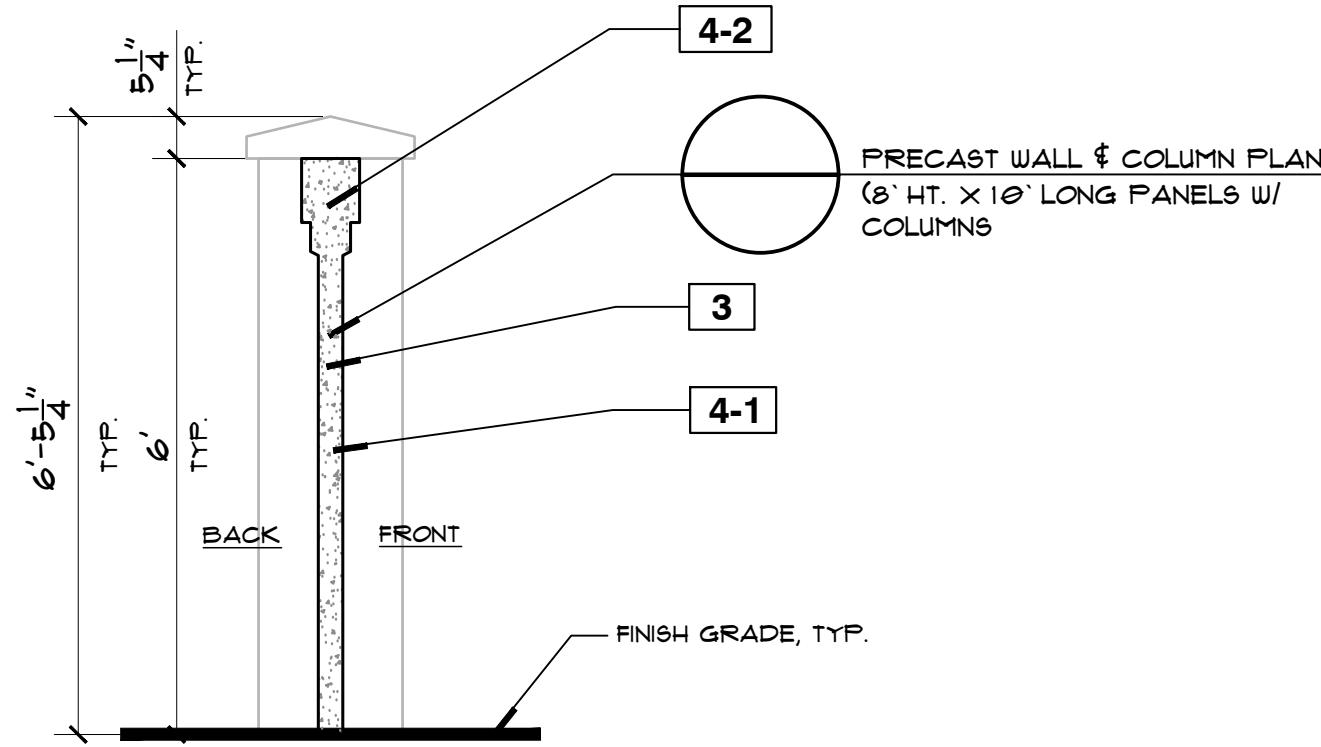
**HD-2**

NOTE: STRUCTURAL ENGINEERING AND WIND LOAD  
CALCULATIONS TO BE SUBMITTED BY MANUFACTURER  
TO COUNTY FOR REVIEW AND PERMIT APPROVAL..



1 PRECAST WALL & COLUMN PLAN & ELEVATION (6' HT. X 10' LONG PANELS W/ COLUMNS)  
1/2" = 1'-0"

P-PA-MANR-MAND-42

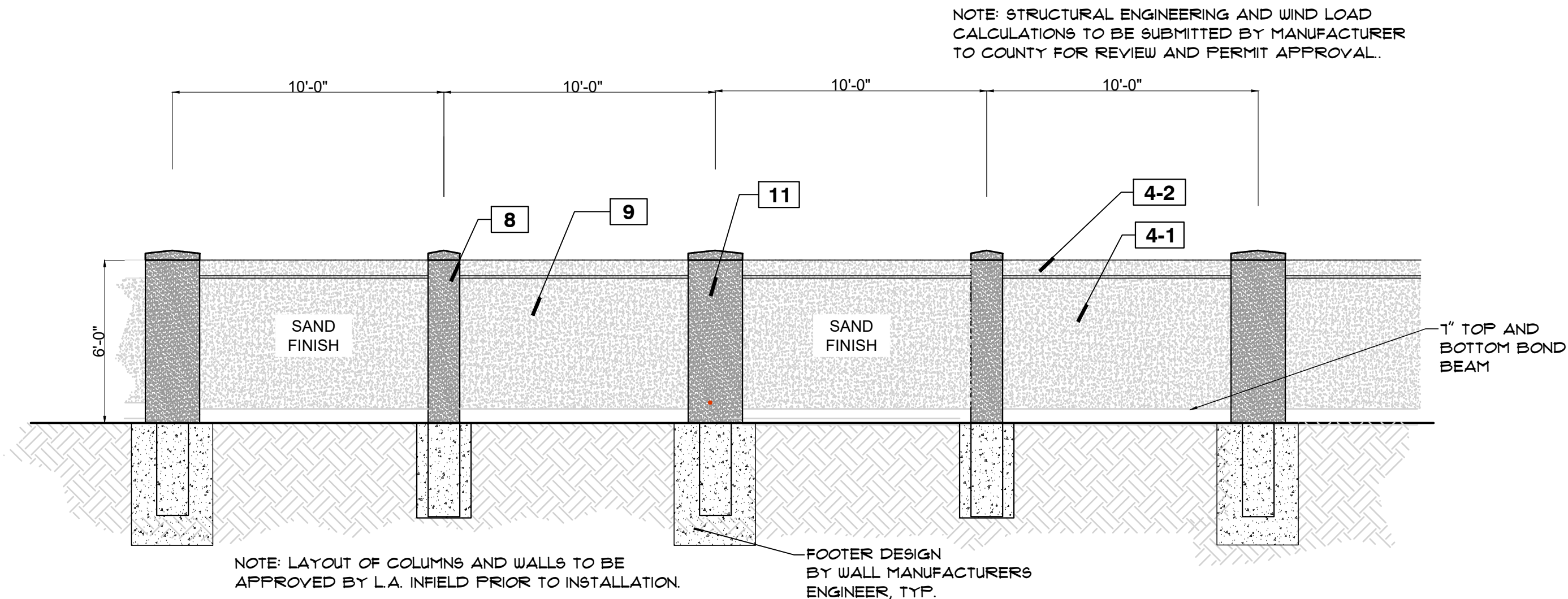


2 PRECAST WALL SECTION  
1/2" = 1'-0"

P-PA-MANR-MAND-43

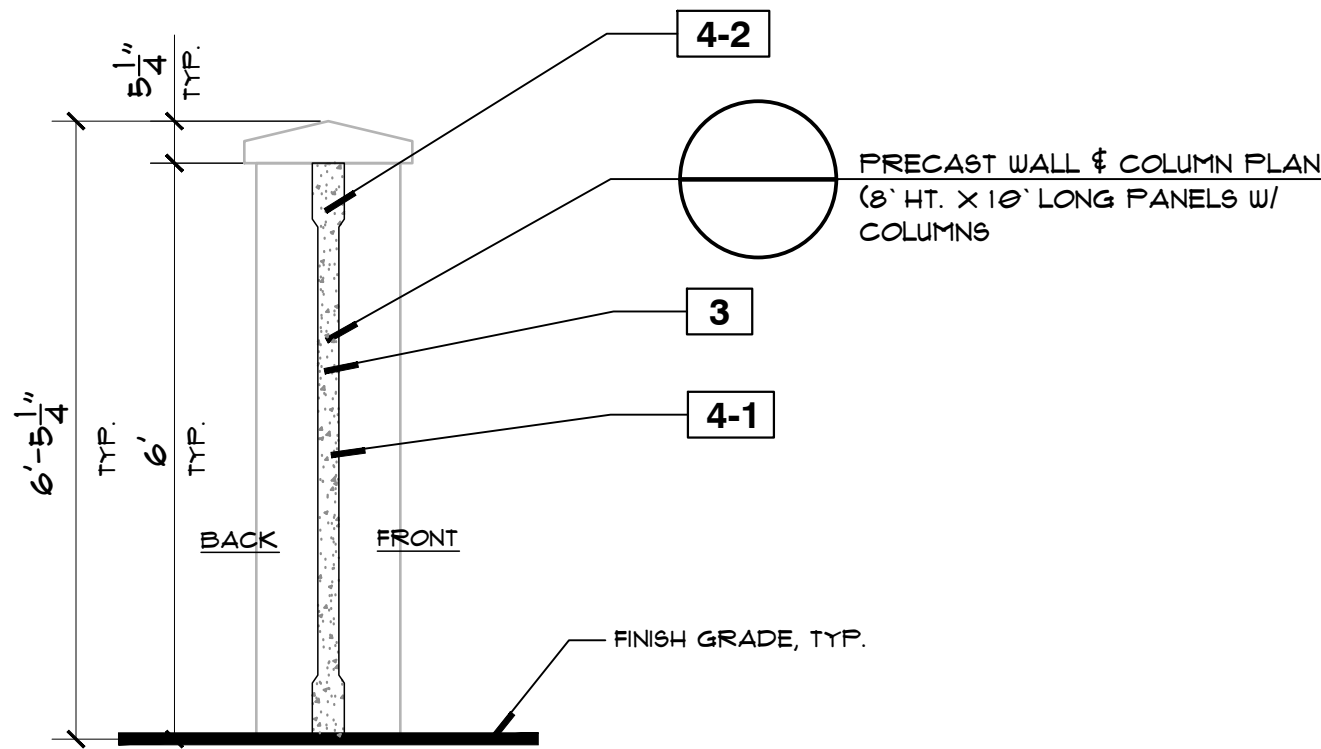
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INC. IF ANY DEVIATIONS ARE REQUIRED FOR ANY REASON, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT MANAGER IMMEDIATELY.





1 PRECAST WALL & COLUMN PLAN (6' HT. X 10' LONG PANELS W/ COLUMNS)  
1/4" = 1'-0"

P-PA-MANR-MAND-41



2 PRECAST WALL SECTION  
1/2" = 1'-0"

P-PA-MANR-MAND-44

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LANDSCAPE ARCHITECTURE

18115 N US Highway 41, Suite 100  
Lutz, FL 33549  
813.948.8810 o. 877.246.3714 f.  
www.NICHOLS-LA.com

CLIENT:

PARK PLACE  
CDD c/o MERITUS

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

ENHANCEMENT  
PROJECT

HILLSBOROUGH COUNTY

SHEET TITLE:

MANDOLIN ESTATES  
WALL DETAILS

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22

DRAWN BY: SG

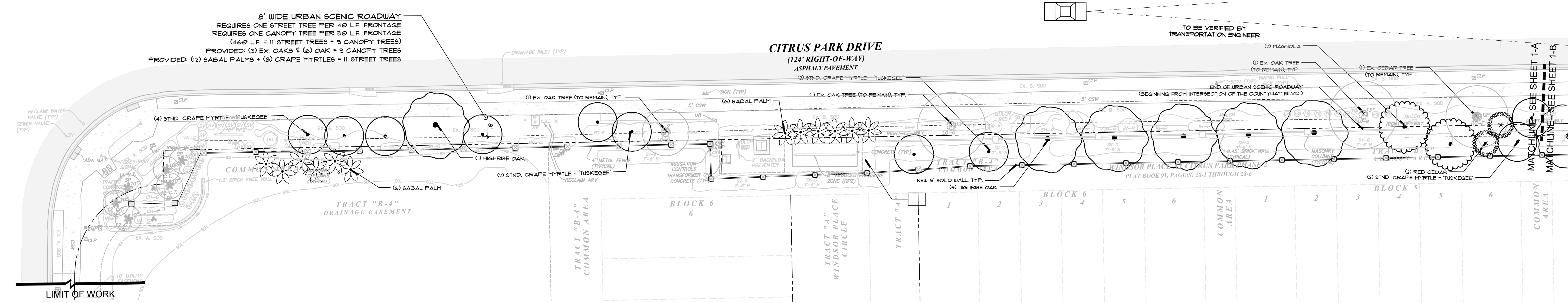
QA/QC: CRN

NLA JOB NO.: PP21-1.2

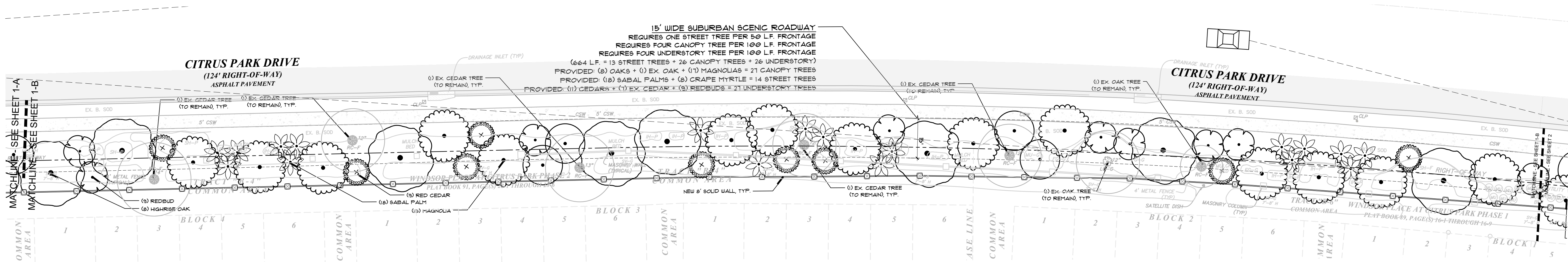
SHEET NUMBER:

HD-2





PLAN SHEET "A"



PLAN SHEET "B"



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TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**WINDSOR PLACE  
FRONTAGE  
LANDSCAPE  
CONSTRUCTION PLAN**

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22  
DRAWN BY: SG  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

L-1





Figure 1 shows a 2x10 grid of squares. The top row consists of 10 squares: the first 5 are black and the next 5 are white. The bottom row consists of 10 squares: the first 5 are white and the next 5 are black. Above the grid, the numbers 0, 10, 20, and 30 are marked at the top edge. The grid is labeled with 0, 10, 20, and 30 at the top edge.



CLIENT:  
**PARK PLACE**  
**CDD c/o MERITUS**

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**WINDSOR PLACE  
ENTRANCE  
LANDSCAPE  
CONSTRUCTION PLAN**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

Celia R. Nichols, PLA, ASLA  
LA0001518

Date \_\_\_\_\_

SUBMITTAL DATE: 05-25-22  
DRAWN BY: SG  
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NLA JOB NO.: PP21-1.2

SHEET NUMBER:

# L-2





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CLIENT:  
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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN RESERVE  
ENTRANCE LANDSCAPE  
CONSTRUCTION PLAN**

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

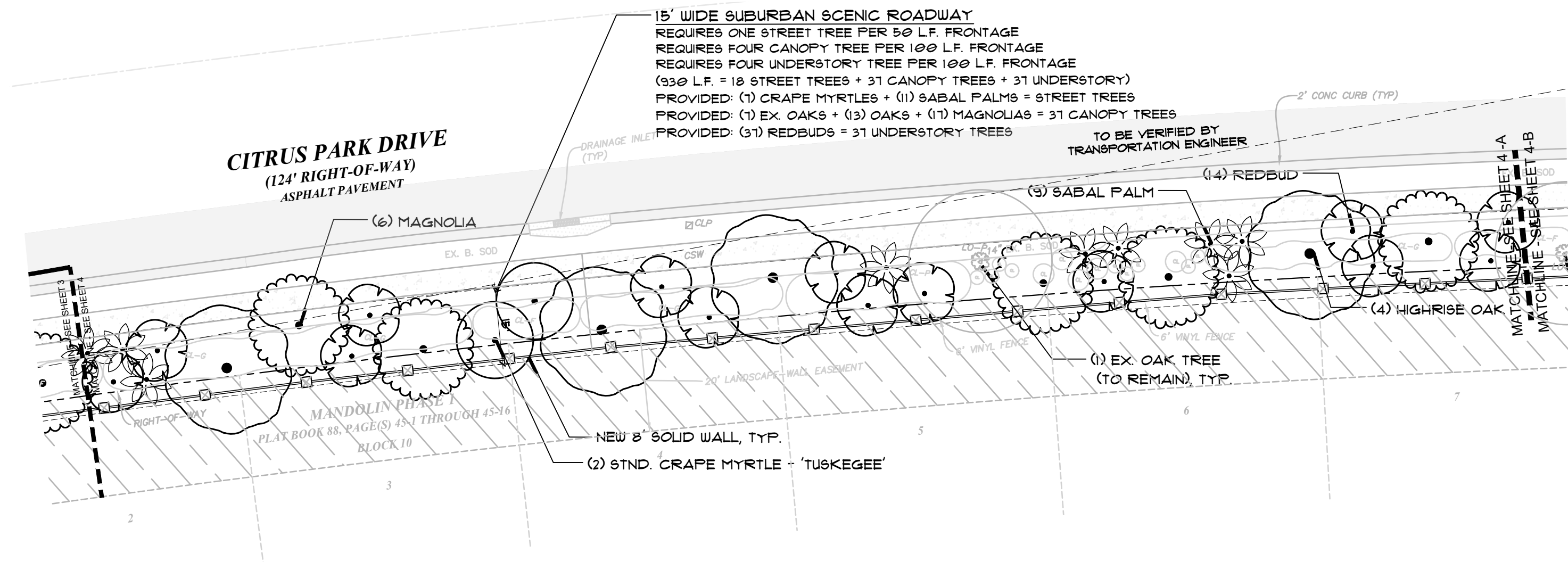
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DRAWN BY: SG  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

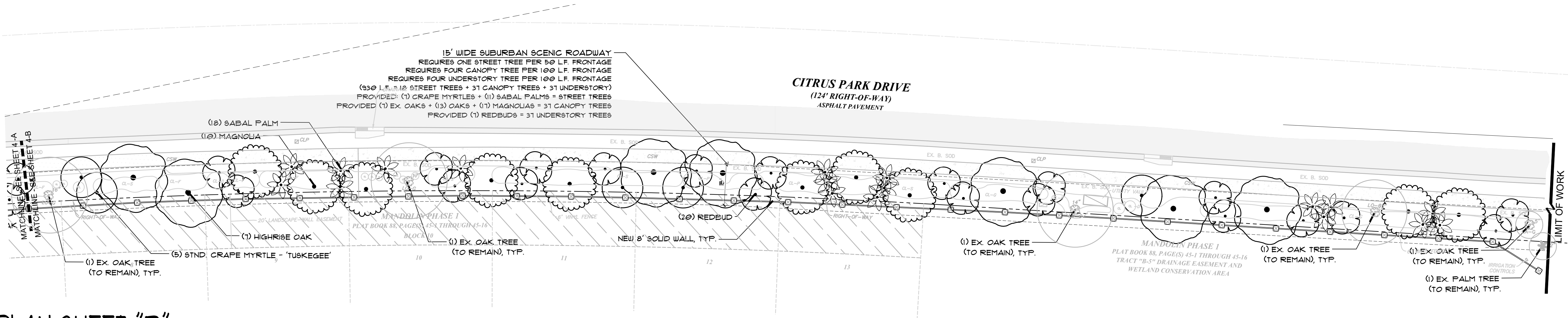
**L-3**

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PLAN SHEET "A"



PLAN SHEET "B"



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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT**  
**PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN RESERVE**  
**FRONTAGE LANDSCAPE**  
**CONSTRUCTION PLAN**

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 05-25-22  
DRAWN BY: SG  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

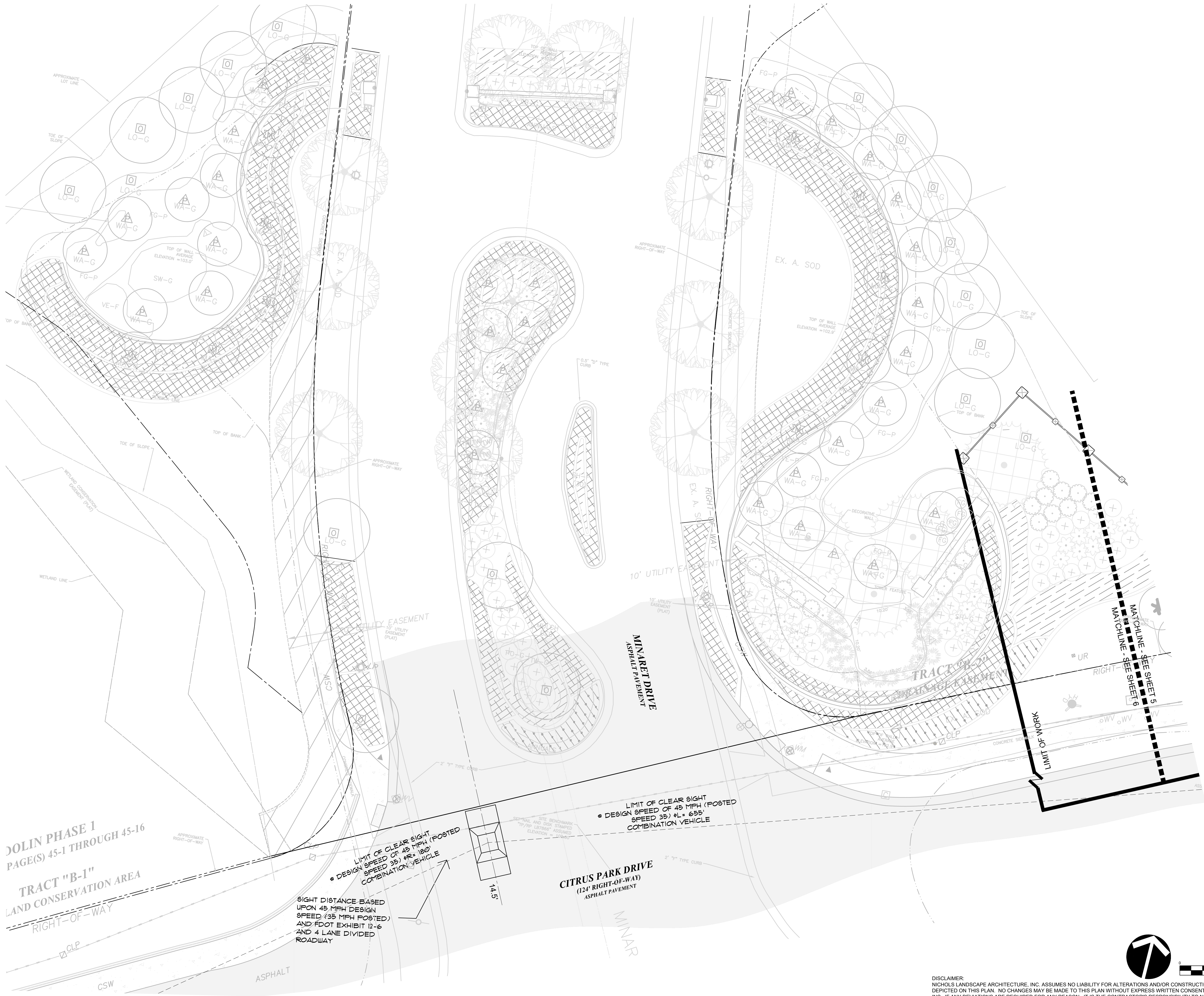
SHEET NUMBER:

**L-4**

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PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN ESTATES  
ENTRANCE LANDSCAPE  
CONSTRUCTION PLAN**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
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LA0001518

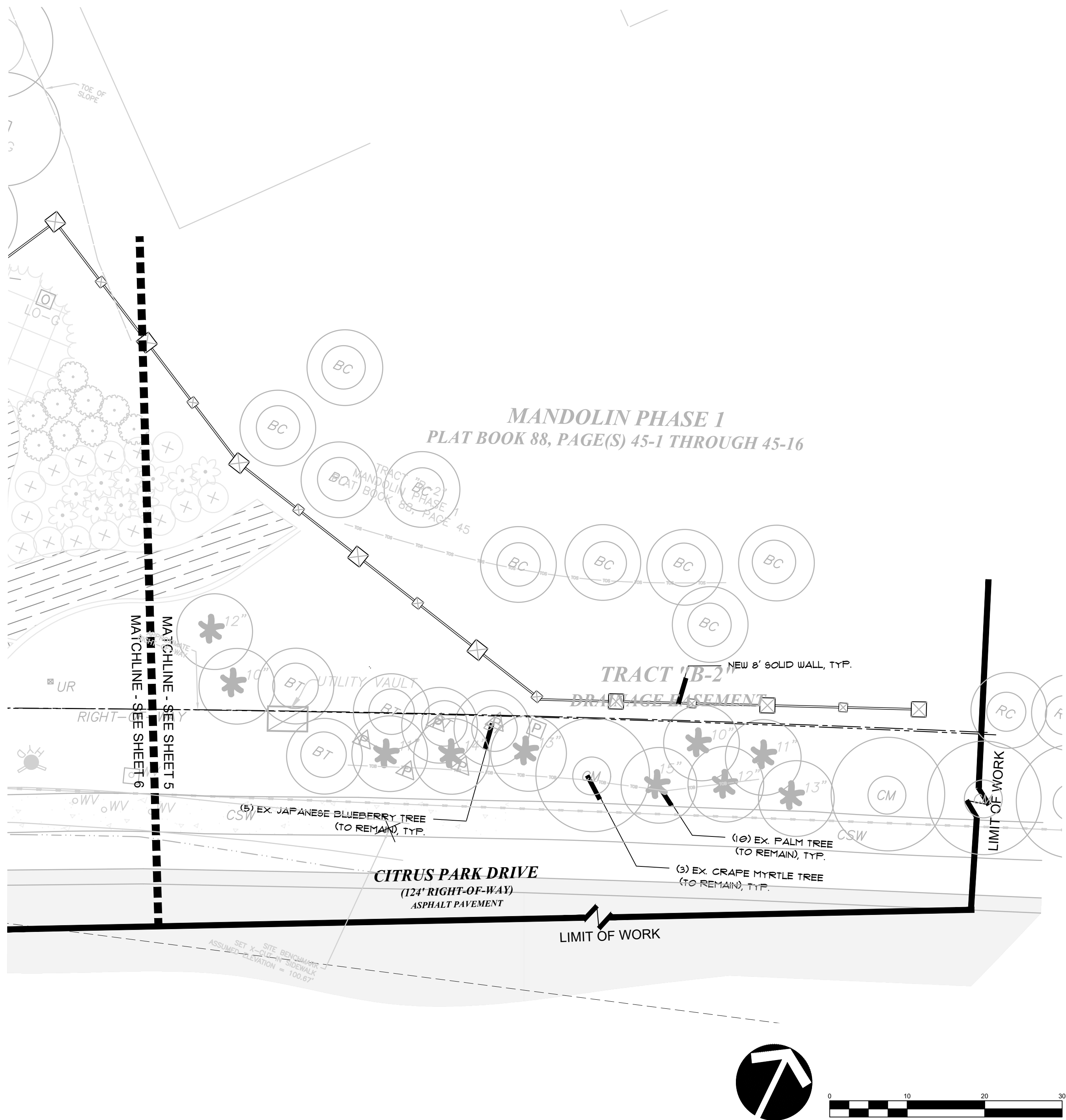
Date

SUBMITTAL DATE: 05-25-22  
DRAWN BY: SG  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**L-5**





| PLANT SCHEDULE |         |     |  |                                 |        |           |
|----------------|---------|-----|--|---------------------------------|--------|-----------|
| TREES          | CODE    | QTY | BOTANICAL NAME   | COMMON NAME                     | SIZE   | CONTAINER |
|                | CC      | 46  | CERCIS CANADENSIS<br>10' HT. X 4' SPR, 2" CAL, (1.5" DBH),<br>CENTRAL LEADER, FULL CANOPY  | REDBUD                          | 30 GAL | POT       |
|                | JUN SIL | 11  | JUNIPERUS SILICICOLA   | SOUTHERN RED CEDAR              | ---    |           |
|                | JUN     | 1   | JUNIPERUS VIRGINIANA<br>10' - 12' HT. X 4'-5' SPR, 3" CAL, FULL<br>BALANCED CANOPY   | RED CEDAR                       | 45 GAL | POT       |
|                | LAG IND | 23  | LAGERSTROEMIA INDICA X 'TUSKEGEE'<br>13'-14' HT X 2.5'-3' SPR, 1.5"-2" CAL, (1" DBH)<br>STRAIGHT CENTRAL LEADER.                           | STND. GRAPE MYRTLE - 'TUSKEGEE' | 45 GAL | POT       |
|                | QUE HI  | 21  | QUERCUS VIRGINIANA 'HIGHRISE'<br>16'-18' HT. X 1' SPR, X 6.5" CAL, (5" DBH),<br>CENTRAL LEADER, FULL, BALANCED CANOPY.                     | HIGHRISE OAK                    | B & B  | POT       |
|                | SAB SA2 | 63  | SABAL PALMETTO<br>12' CLEAR TRUNK HEIGHTS MATCHED,<br>STRAIGHT, HEAVY AND BOOTED   | SABAL PALM                      | B & B  |           |
| NATIVE TREES   | CODE    | QTY | BOTANICAL NAME   | COMMON NAME                     | SIZE   | CONTAINER |
|                | MB2     | 34  | MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'<br>10'-12' HT. X 3.5' SPR, 3" CAL, (4" DBH)<br>FULL BALANCED FORM. STRONG CENTRAL<br>LEADER. 2' C.T. | MAGNOLIA                        | 65 GAL | POT       |

SPECIFIC PLAN NOTES:

- THE REMAINDER OF THIS AREA WILL BE PLANTED WITH GROUNDCOVER AND ST. AUGUSTINE SOD TO MEET COUNTY STANDARDS
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM WALL TO MEET PRE CONSTRUCTION DRAINAGE FLOW THAT WAS PREPARED BY ORIGINAL LAND DEVELOPERS' CIVIL ENGINEER.
- EXISTING RESIDENCE WITH PRIVATE FENCE AND LANDSCAPE
- CONTRACTOR TO FIELD ADJUST WALL AS TREES IN THIS AREA WERE NOT PICKED UP ON SURVEY. COORDINATE WITH L.A..



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PROJECT NAME:  
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HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN ESTATES  
FRONTAGE LANDSCAPE  
CONSTRUCTION PLAN**

REVISIONS:

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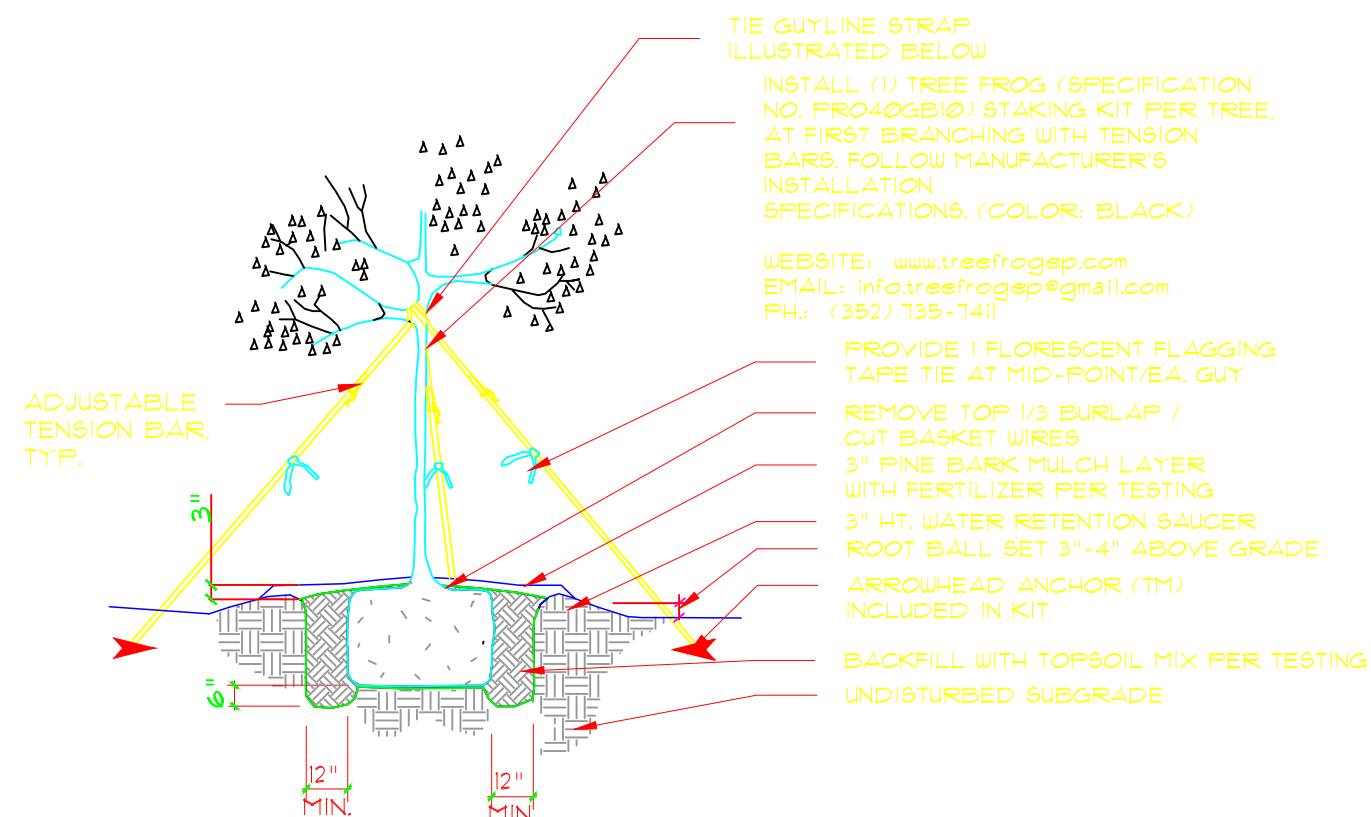
Date

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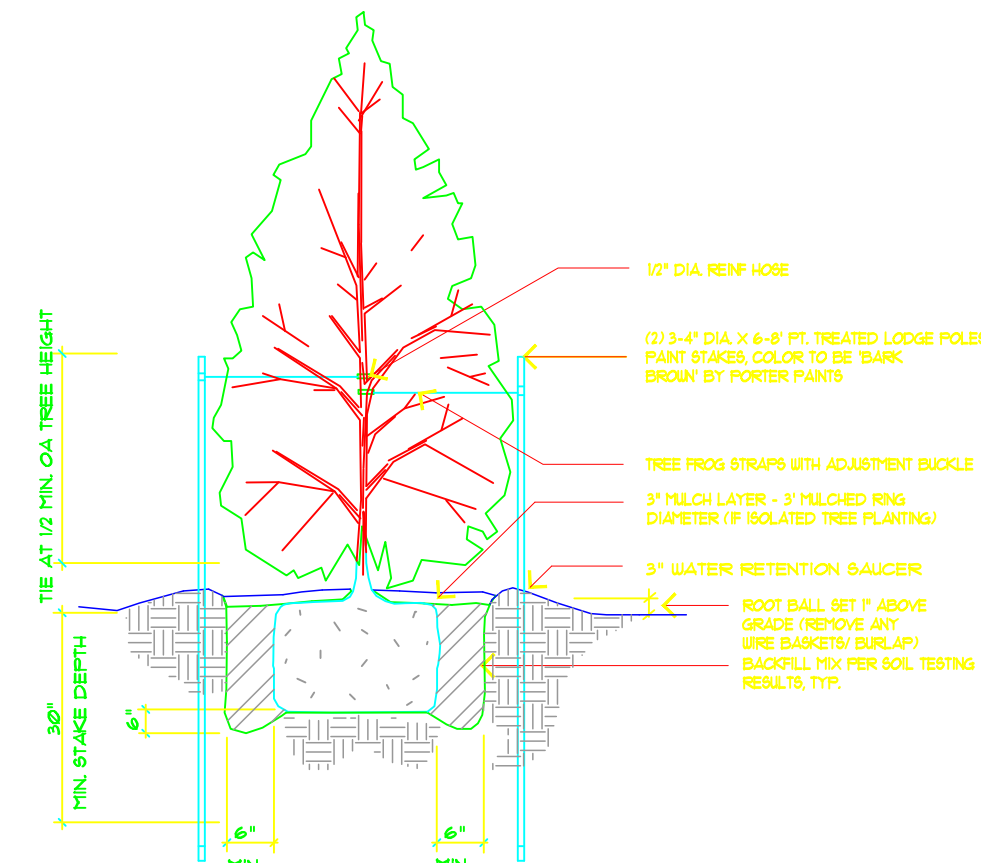
SHEET NUMBER:

L-6

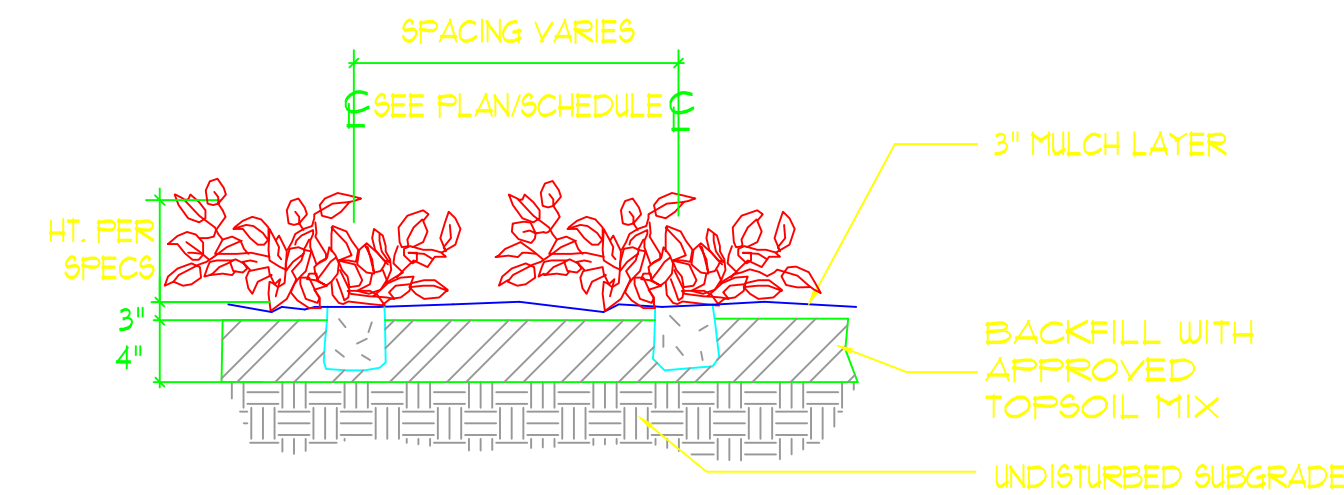




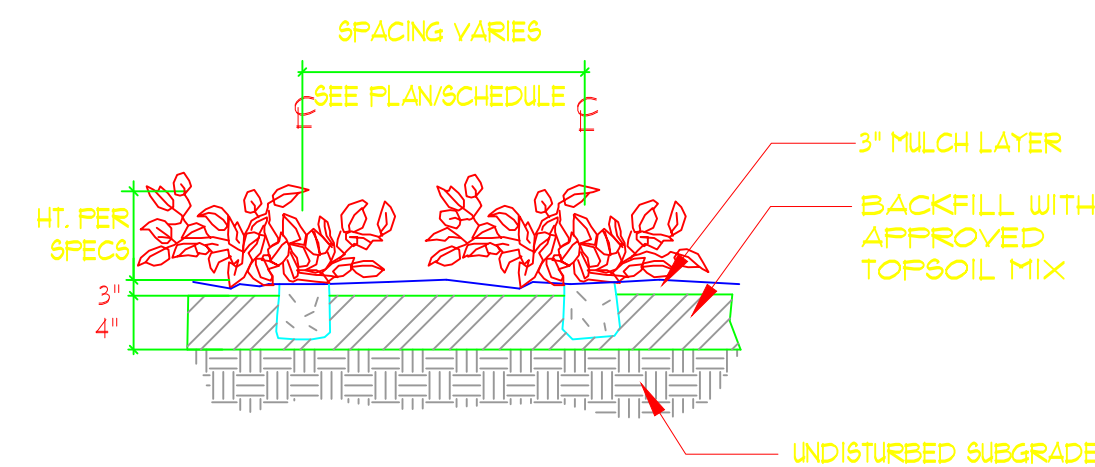
**1** TYPICAL SPREADING TREE PLANTING DETAIL (< 4" C.)  
NOT TO SCALE M-LA-329343-05



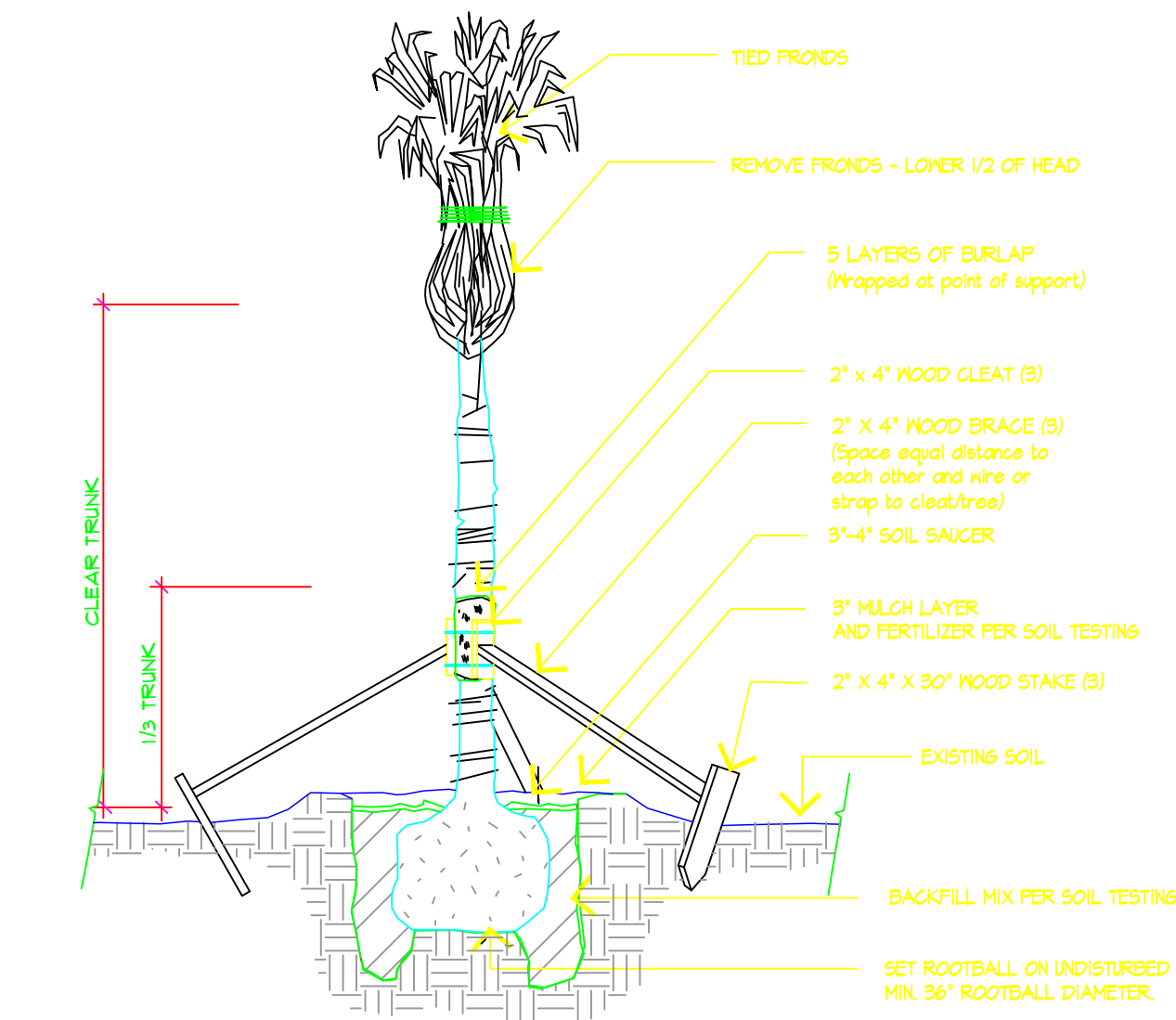
## 2 TYPICAL MINOR & COLUMNAR TREE PLANTING DETAIL



### 3 SHRUB PLANTING DETAIL



## 4 TYPICAL GROUND COVER PLANTING DETAIL



**5** TYPICAL PALM TREE PLANTING DETAIL



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PARK PLACE  
CDD c/o MERITUS

**MANDOLIN ESTATES,  
MANDOLIN RESERVE  
AND WINDSOR PLACE**

[illegible]LD-1<sup>35</sup>

35



# IRRIGATION SPECIFICATIONS:

## GENERAL

- MODIFY THE EXISTING FULLY AUTOMATIC IRRIGATION SYSTEM TO PROVIDE IRRIGATION FOR FOR TREES, PALMS, SHRUBS PER THE NEW LANDSCAPE PLANS. PROVIDE PRODUCTS AND INSTALLATION METHODS IN ACCORDANCE WITH LATEST FL. BLDG. CODE AND COUNTY REQUIREMENTS.
- WATER SOURCE: CONNECT TO EXISTING WATER MAINLINE - WELL. VERIFY GPM AND PSI AT START OF JOB.
- ELECTRICAL SOURCE: USE EXISTING POWER.
- PERFORMANCE CRITERIA: PROVIDE A MAXIMUM OF 15 INCHES PER WEEK FOR PLANTED AREAS. SPACE HEADS TO CONFORM TO MANUFACTURER'S RECOMMENDATIONS. MAXIMUM VELOCITY 4 FEET PER SECOND. SIZE PIPE TO PROVIDE RECOMMENDED MINIMUM PRESSURE AT EACH HEAD. NO PIPE SHALL BE LESS THAN 3/4".
- WORKMANSHIP: IN ACCORDANCE WITH THE BEST PRACTICES THROUGHOUT THE INDUSTRY IN ACCORDANCE WITH THE STANDARDS RECOMMENDED BY THE MANUFACTURERS OF MATERIALS AND IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES AND FLORIDA BUILDING CODE - PLUMBING EDITION (CURRENT YEAR).
- WARRANTY: GUARANTEE MATERIAL AND WORKMANSHIP OF THIS NEW IRRIGATION SYSTEM AGAINST DEFECTS FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY TAMPA BAY WATER (TBW) AND L.A.
- COORDINATION OF WORK: COORDINATE WORK WITH OTHER CONSTRUCTION ACTIVITIES.
- UTILITIES: PRIOR TO EXCAVATION, VERIFY IN THE FIELD THE LOCATION AND DEPTH OF NEW AND EXISTING UTILITIES AND TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB SUCH UTILITIES. REPAIR TO ORIGINAL CONDITION, UTILITIES AND OTHER WORK DAMAGED BY CONTRACTOR'S CONSTRUCTION. IMMEDIATELY NOTIFY THE OWNER OF ANY DAMAGE. CALL 811 TO LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- DIRECTIONAL BORE AND SLEEVE LOCATIONS: BORES AND SLEEVES SHALL BE AS SHOWN ON PLANS AND INSTALLED PER DETAILS SHOWN ON PLANS. ENSURE SLEEVE IS 2X MIN OR MAX 25X LARGER THAN THE IRRIGATION PIPES THAT IT ENCLOSES. ALL SLEEVE LOCATIONS SHALL BE MARKED IN THE FIELD WITH A PERMANENT MEDALLION MOUNTED ON THE CURB OR SIDEWALK. METHOD SHALL BE AS APPROVED BY OWNER'S REPRESENTATIVE
- DRIP SYSTEM SHALL BE INSTALLED:
  - 6" FROM EDGE OF CURB, SIDEWALK, GRAVEL EDGING, PAVING, OR FENCE.
  - BURY BENEATH MULCH.
  - FLUSH WITH FINISH GRADE.
- FIELD ALTERATIONS MADE THAT DO NOT CONFORM TO THE IRRIGATION CONTRACT DRAWING MUST BE IN THE BEST INTEREST OF UTILITY CONFLICTS IN LANDSCAPE AND IRRIGATION SYSTEM. CHANGES MADE BY THE IRRIGATION CONTRACTOR WHICH ARE DEEMED, BY THE OWNER'S REPRESENTATIVE, NOT TO CONFORM WITH THIS CRITERIA WILL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE. IF A QUESTION SHOULD ARISE AS TO THE BEST METHOD TO COMPLETE A FIELD ALTERATION, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE, IN WRITING FOR APPROVAL PRIOR TO CHANGE.
- THE CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE TO APPLICABLE REGULATIONS FOR IRRIGATION INSTALLATION AND ANY ASSOCIATED PERMITTING PRIOR TO START OF WORK AND THROUGHOUT WORK.
- PIPING ON THE PLANS IS SHOWN DIAGRAMMATICALLY FOR CLARITY. PIPES SHALL BE ROUTED TO MIN. PIPE LENGTH & AVOID EXISTING LANDSCAPE ELEMENTS AND UTILITIES. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS AND ONLY UPON APPROVAL OF THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE SPRINKLERS ARC AND RADIUS TO ASSURE 100 PERCENT COVERAGE, AND ELIMINATE ANY OVERSPRAY ON SIDEWALKS OR FENCING.
- WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UP-14/1 DIRECT BURIAL CABLE. COLOR SHALL BE PER FL. BLDG. CODE & NISA STANDARDS. USE WATERPROOF WIRENUTS ON ALL CONNECTIONS. IMPORTANT: ALL WIRING NOT UNDER MAINLINE TO BE IN GRAY ELECTRICAL CONDUIT.
- ALL ABOVE GROUND, FIXED POWER, OR OTHER, WOOD POST OR PVC RISERS SHALL BE PAINTED BLACK.
- DURING INSTALLATION, CONTRACTOR TO REMOVE ALL EXISTING UNUSED EXPOSED, IRRIGATION PIPES, WIRES, CONDUIT, HARDWARE, ETC. ALL MATERIALS FROM THIS WORK SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF, ON A WEEKLY BASIS.

## SUBMITTALS

- L.A. TO PROVIDE A SHOP DRAWING PRIOR TO CONSTRUCTION TO PROVIDE NEW BUBBLERS FOR EACH TREE AND DRIP IRRIGATION TO SHRUBS. GC TO PREPARE THE CAD AS-BUILT DRAWINGS: PROJECT RECORD DRAWINGS AND SPECIFICATIONS SHALL BE KEPT UP-TO-DATE DAILY. CAD DRAWINGS SHALL INCLUDE ALL HORIZONTAL AND VERTICAL DEVIATIONS FROM THE CONTRACT DOCUMENTS MADE DURING CONSTRUCTION. AS-BUILT PLANS SHALL BE PREPARED IN AUTOCAD @ 20 SCALE, 24X36 SIZE FORMAT, AND COMPLETE AT WALK-THRU. INDICATE ALL APPROVED FIELD CHANGES, DIMENSIONS, LEGENDS, PIPE SIZES, SLEEVE LOCATIONS & DEPTHS AND VALVE NUMBERS.
  - ALL PIPING SHALL BE DIMENSIONED, SIZES DRAWN TO SCALE AND SHOW: CONTROLLER(S), SENSORS, PUMP, WELL,
  - AND REMOTE CONTROL VALVES AND ISOLATION VALVES. ISOLATION VALVES SHALL HAVE TWO MEASUREMENTS FROM FIXED OBJECTS.
  - A MINIMUM TWO (2) POINTS OF REFERENCE SHALL BE PROVIDED FOR EACH DIMENSION.
- OPERATION AND MAINTENANCE INSTRUCTIONS: WITHIN ONE WEEK PRIOR TO FINAL INSPECTION SUBMIT TWO (2) COPIES OF TYPED OPERATING INSTRUCTIONS FOR THE MOST EFFICIENT OPERATION (WITH SEASONAL ADJUSTMENTS) AND MAINTENANCE OF THE SYSTEM, TOGETHER WITH PARTS LISTS COVERING ALL OPERATING EQUIPMENT, BOUND INTO A FOLDER.
- WARRANTY: SUBMIT AS-BUILT CAD (AND PDF) DRAWING, SYSTEM WARRANTY LETTER AND PRODUCT PAPERWORK AT THE COMPLETION OF WORK.

## PRODUCTS

- MATERIALS: SHALL BE NEW AND TRUE TO MANUFACTURER'S SPECIFICATIONS AND DIMENSIONS.
- PIPE AND FITTINGS: SCHEDULE 40 OR 80 PVC SLEEVES CONTINUOUSLY MARKED WITH MANUFACTURER, CLASS, TYPE, AND SIZE. TO BE USED FOR ALL LATERALS AND PIPING ON PROJECT.
- WATER: POTABLE - EX. WELL.
- SLEEVING: CONTRACTOR SHALL MEET ALL REQUIREMENTS AND COUNTY CODE. AND SIZED AT 25 X THE DIAMETER OF THE ENCASED PIPE. SLEEVES FOR UNDER ROADS AND SIDEWALKS SHALL BE SCHED. 40 PIPE OR 80 PVC
- FITTINGS: MINIMUM SCHEDULE 40, TYPE I, PVC.
- DRIP SYSTEM AND BUBBLERS AND IRRIGATION HEADS: INSTALL ALL PER DETAILS SHOWN AND SPECIFIED ON LEGEND. STAKE ALL BUBBLERS NEAR TREE TRUNK. ADD FLUSH AND AIR RELIEF VALVES IN VALVE BOX AT EACH DRIP ZONE/ AREA PER PLANS. INSTALL DRIP IN PATTERN PER DETAILS USING HEADER PIPE. INSTALL DRIP VALVES PER PLAN IN VALVE BOX.
- AUTOMATIC CONTROL VALVES: RAINBIRD FE88 SERIES 1", 1.5" AND 2" VALVES OR APPROVED EQUAL.
- VALVE BOXES: CARSON OR AMETEK 110106 16"x10" PLASTIC WITH GREEN LIDS STAMP-MARKED "IRRIGATION".
- CONTROLLER: CONNECT TO EXISTING AS PER PLANS, ADD MODULES OR DECODER PER NOTES & SPECS, INCLUDE PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.
- ELECTRIC: CONNECT TO EXISTING SOURCE USING EXISTING METER. NOTE: ADD GROUNDING SYSTEM TO EACH WITH GROUND RODS TO 10 MEGS, OR PER THE NATIONAL ELECTRICAL STANDARDS, OR MOST RESTRICTIVE.
- OTHER: INSTALL A PUMP TO MEET PROJECT GPM AND PSI REQUIREMENT AND FOLLOW HILLSBOROUGH COUNTY'S STANDARDS.
- BACKFLOW PREVENTOR: PER HILLSBOROUGH COUNTY STANDARDS. INSTALL AS REQUIRED BY CODE.
- PRIMER AND CEMENT- PRODUCTS AND INSTALLATION SHALL BE AS PER FL. BLDG. CODE.
- NOZZLES: HUNTER FIXED BUBBLER AS SHOWN ON PLANS.

### PRESSURE TEST

NOTE: CONTACT L.A. 48 HOURS IN ADVANCE

AFTER RISERS ARE IN PLACE AND CONNECTED, AND PRIOR TO THE INSTALLATION OF SPRINKLER HEADS, OPEN CONTROL VALVES, AND FLUSH OUT THE SYSTEM WITH A FULL HEAD OF WATER. AFTER THE SYSTEM IS THOROUGHLY FLUSHED, CAP OFF THE RISERS AND PRESSURE TEST THE SYSTEM. SPRINKLER LINES SHALL BE TESTED FOR A PERIOD OF NOT LESS THAN ONE HOUR, AND SHALL MAINTAIN LEAKAGE PER THE FOLLOWING FORMULA:

$$L = \frac{NDV(P)}{1400}$$

WITH L = LEAKAGE IN GAL/HOUR  
WITH N = NO. OF JOINTS  
WITH D = PIPE DIAMETER IN INCHES  
WITH P = TEST PRESSURE IN PSI

## EXECUTION

- CALL 811 BEFORE DIGGING.
- INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PER FL. BLDG. CODE - PLUMBING 1TH ED. APPENDIX F. 2020 & ISA STANDARDS.
- DEMOLISH AND REMOVE OLD PIPE OR HEADS NOT SAVED OR RELOCATED. SEE SHOP DRAWING SUBMITTAL OF THE IRRIGATION PLANS FOR SPECIFICS. EXCAVATION AND BACKFILLING: EXCAVATE TRENCHES TO PROVIDE MINIMUM COVER OVER LATERAL AND MAINLINE PIPING OF 18" IN PLANT BEDS AND 30" BENEATH PAVING. REMOVE AND DISPOSE OF ANY EXPOSED MATERIALS FROM UNUSED IRRIGATION SYSTEM. BACKFILL WITH CLEAN MATERIAL, THEN COMPACT AREAS PER FL. BLDG. CODE STANDARDS AND RE-SOD WITH ST. AUGUSTINE AND/ OR REMULCH PER LANDSCAPE DESIGN. ALL SLEEVES SHALL BE INSTALLED BY CONTRACTOR PER DETAILS THIS SHEET. GROUP PIPES AS SHOWN ON PLANS.
- PLASTIC PIPE: INSTALL AS RECOMMENDED BY MANUFACTURER, USING PRIMER AND GLUE PER ISA SPECIFICATIONS.
  - PIPING SHALL BE GROUPED TO MINIMIZE TRENCHING, AND LOCATED TO MINIMIZE PIPE LENGTH. LOCATIONS ARE DIAGRAMMATIC AND SHOWN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL USE THIS PLAN SET FOR DESIGN. FIELD ADJUSTMENTS SHALL BE MADE TO MEET ACTUAL CONDITIONS AND TO MINIMIZE PIPE LENGTHS AND CONFLICTS WITH UTILITIES OR AS-BUILT CONDITIONS. PIPE SIZES ARE AS SHOWN UNLESS CONTRACTOR DETERMINES SIZES SHOWN NEED ADJUSTMENT, IF SO, NOTIFY L.A.
- HEAD, NOZZLES & DRIP SYSTEM: INSTALL AS DETAILED. ALL HEADS TO BE RAINBIRD 1800 SERIES, MFR. SAM, FIXED NOZZLES. USE HUTNER 1 GPM BUBBLERS, HUNTER ECOURAP DRIP. ADJUST HEADS AND DRIP LINE TO MEET BED LAYOUT AND DETAILS. PROVIDE AIR RELIEF AND FLUSH VALVES FOR EACH DRIP BED PER MANUF. RECOMMENDATION. NO OVERSPRAY ON PAVING/WALLS.
- AUTOMATIC CONTROL VALVES: LOCATE IN GROUP IN SQUARE GROUPINGS AND PARALLEL TO ONE ANOTHER, LOCATE IN A LOW VISABLE AREA.
  - INSTALL VALVE BOX OVER A 1 CUBIC FOOT OF CLEAN 1/2" DIA. PEA-SIZED GRAVEL OVER THE TOP OF FILTER FABRIC TO CREATE A SUMP FOR EACH VALVE. PROVIDE A MULCH BED FOR ENTIRE VALVE MANIFOLD (GROUPING). MULCH TO BE PLACED OVER APPROVED WEED BARRIER FABRIC, NEW ALUMINUM EDGING BY PERMALOC 'CLEANLINE' 1/8" X 3" INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE A 10" EXPANSION COIL OF ELECTRICAL WIRE AT EACH VALVE TO CONTROL. MAKE ALL ELECTRICAL SPLICES PER FL. BLDG. CODE. INSTALL NEW ST. AUGUSTINE SOD AROUND VALVE "BED".
- IF WIRES ARE BURIED, UNDER MAINLINE THEN BUNDLE MULTIPLE WIRES AND TAPE TOGETHER AT NOT OVER 20' INTERVALS. INSTALL CONTROL WIRING SPLICES IN VALVE BOXES AND SET FLUSH WITH FINISHED GRADE.

LABELS:

  - NUMBER EACH ZONE VALVE BOX ON UNDERSIDE AND TOPSIDE OF VALVE BOX COVER WITH A BLACK WATERPROOF LABEL, FOR REFERENCE. NUMBERS SHALL MATCH THE ZONE NUMBERS ON THE DRAWING.
  - NUMBER EACH ZONE VALVE CONTROL WIRE AT THE TO MATCH THE ZONE NUMBER ON THE DRAWINGS. CONTROLLER WITH A WATERPROOF MARKER AND TAGS.
  - ALL WIRING NOT UNDER MAINLINE TO BE IN CONDUIT AND AVAILABLE FOR INSPECTION. GROUND SYSTEM. ADD WIRELESS RAIN SENSOR IF NONE EXISTING TO EACH CONTROLLER.
- CONTROLLER: EXISTING. ALL PROGRAMMING AND FINAL WIRING TERMINATIONS TO BE PERFORMED BY THE IRRIGATION CONTRACTOR AND ELECTRICAL CONTRACTOR.

### HYDROSTATIC AND LEAKAGE TESTING

- NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AT LEAST 72 HOURS PRIOR TO EACH OF THE FOLLOWING TESTING MILESTONES : FIRST/ • START OF WORK, SECOND/ • FLAGGING OF HEAD LAYOUT, THIRD/ • PRESSURE TEST, LAST/ • FINAL WALK-THRU.
- CONTRACTOR TO CONDUCT A ONE HOUR HYDROSTATIC PRESSURE AND LEAK TEST BEFORE ANY PIPE IS BURIED. ANY LEAKS SHALL BE NOTED AND REPAIRED AT THIS TIME AND INFORMATION PROVIDED TO OWNER'S REPRESENTATIVE.

### MAINTENANCE

- MAINTAIN THE IRRIGATION SYSTEM UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WORK, MATERIALS AND REPLACEMENTS NECESSARY TO INSURE A COMPLETE AND PROPERLY OPERATING SYSTEM. A WRITTEN MAINTENANCE PLAN.
- IMPORTANT: CONTRACTOR SHALL HAND-WATER ALL NEW PLANT AND SOD OR OTHER MATERIAL NOT COVERED BY IRRIGATION USING A HOSE TO MANUALLY WATER-IN EACH PLANT AT BASE OF PLANT. USE A WATER TRUCK OR OTHER MEANS AS PREVIOUSLY APPROVED BY THE OWNER'S REPRESENTATIVE. HAND WATER UNTIL PROJECT ACCEPTANCE OR OTHER STATED APPROVAL DATE.

## CLEAN-UP

DAILY TO KEEP SITE CLEAN, AND THEN UPON COMPLETION AND PRIOR TO INSPECTION OF THE WORK, CLEAR THE SITE OF DEBRIS, SUPERFLUOUS MATERIALS AND EQUIPMENT.

## INSPECTION AND WARRANTY

AT THE CONCLUSION OF IRRIGATION WORK, THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT WILL CONDUCT A FULL INSPECTION OF THE ENTIRE IRRIGATION SYSTEM OPERATING ZONE BY ZONE WITH THE CONTRACTOR TO DETERMINE IF SYSTEM IS PERFORMING PER PLANS AND SPECIFICATIONS. CONTRACTOR SHALL CORRECT ALL PUNCHLIST ITEMS BEFORE A RE-INSPECTION. WARRANTY OF SYSTEM SHALL BEGIN ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.

NOTE: THERE SHALL BE WATER FLOWING/ SPRAYING ONTO THE PAVING/ HARDSCAPE AREAS AS NOTED ABOVE. THEN THIS SHALL BE REVIEWED AND CORRECTED BY THE CONTRACTOR BEFORE CLOSE OUT AND ACCEPTANCE.



**NICHOLS**  
LANDSCAPE ARCHITECTURE

18115 N US Highway 41, Suite 100  
Lutz, FL 33549  
813.948.8810 o. 877.246.3714 f.

www.NICHOLS-LA.com

CLIENT:

**PARK PLACE**  
**CDD c/o MERITUS**

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

**MANDOLIN ESTATES,**  
**MANDOLIN RESERVE**  
**AND WINDSOR PLACE**

HILLSBOROUGH COUNTY

SHEET TITLE:

**IRRIGATION**  
**PERFORMANCE**  
**SPECIFICATION**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 02-22-22

DRAWN BY: SG

QA/QC: CRN

NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**I-1**





Lutz, FL 33549

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## ENHANCEMENT PROJECT

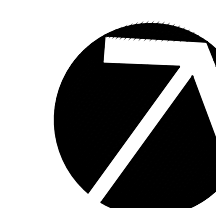
# WINDSOR PLACE FRONTAGE IRRIGATION PLAN

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

Date \_\_\_\_\_

NLA JOB NO.: PP21-1.2

IR-1



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[www.NICHOLS-LA.com](http://www.NICHOLS-LA.com)

CLIENT:  
**PARK PLACE**  
**CDD c/o MERITUS**

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**WINDSOR PLACE  
ENTRANCE IRRIGATION  
PLAN**

[illegible]

Celia R. Nichols, PLA, ASLA  
LA0001518

Date \_\_\_\_\_

SUBMITTAL DATE: 11-25-22

DRAWN BY: CRN

QA/QC: CRN

NLA JOB NO.: PP21-1.2

SHEET NUMBER:

IR-2 38





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CLIENT:

**PARK PLACE  
CDD c/o MERITUS**

2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:

**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:

**MANDOLIN RESERVE  
ENTRANCE IRRIGATION  
PLAN**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 11-25-22

DRAWN BY: CRN

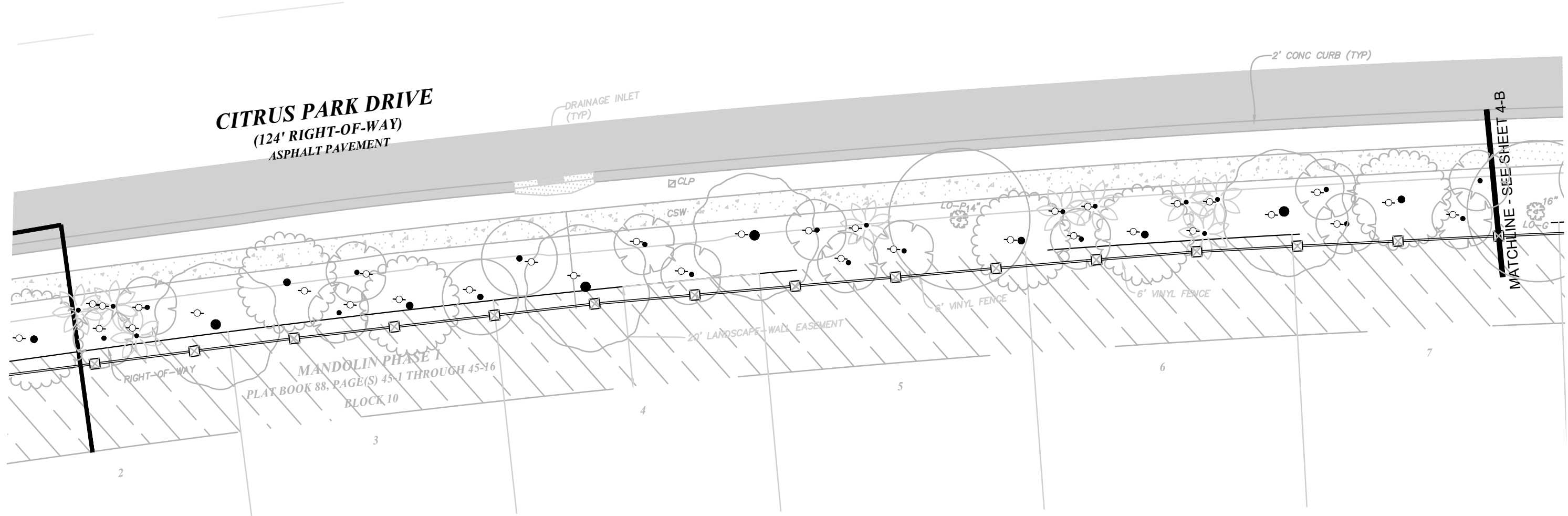
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NLA JOB NO.: PP21-1.2

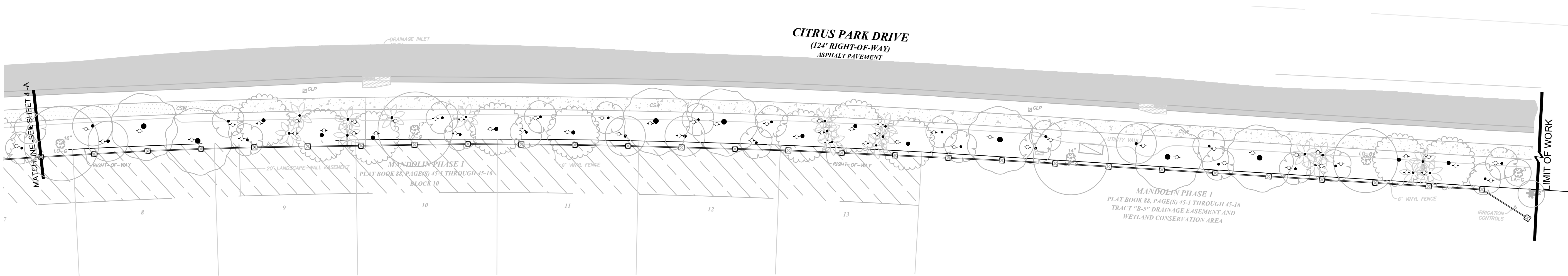
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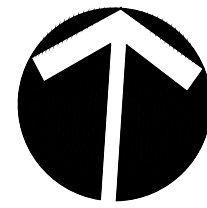




PLAN SHEET "A"



PLAN SHEET "B"



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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT**  
**PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN RESERVE**  
**FRONTAGE IRRIGATION**  
**PLAN**

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 11-25-22  
DRAWN BY: CRN  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**IR-4**<sup>40</sup>





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CLIENT:  
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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN ESTATES  
ENTRANCE IRRIGATION  
PLAN**

| REVISIONS: |      |             |
|------------|------|-------------|
| NO.        | DATE | DESCRIPTION |
|            |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 11-25-22  
DRAWN BY: CRN  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

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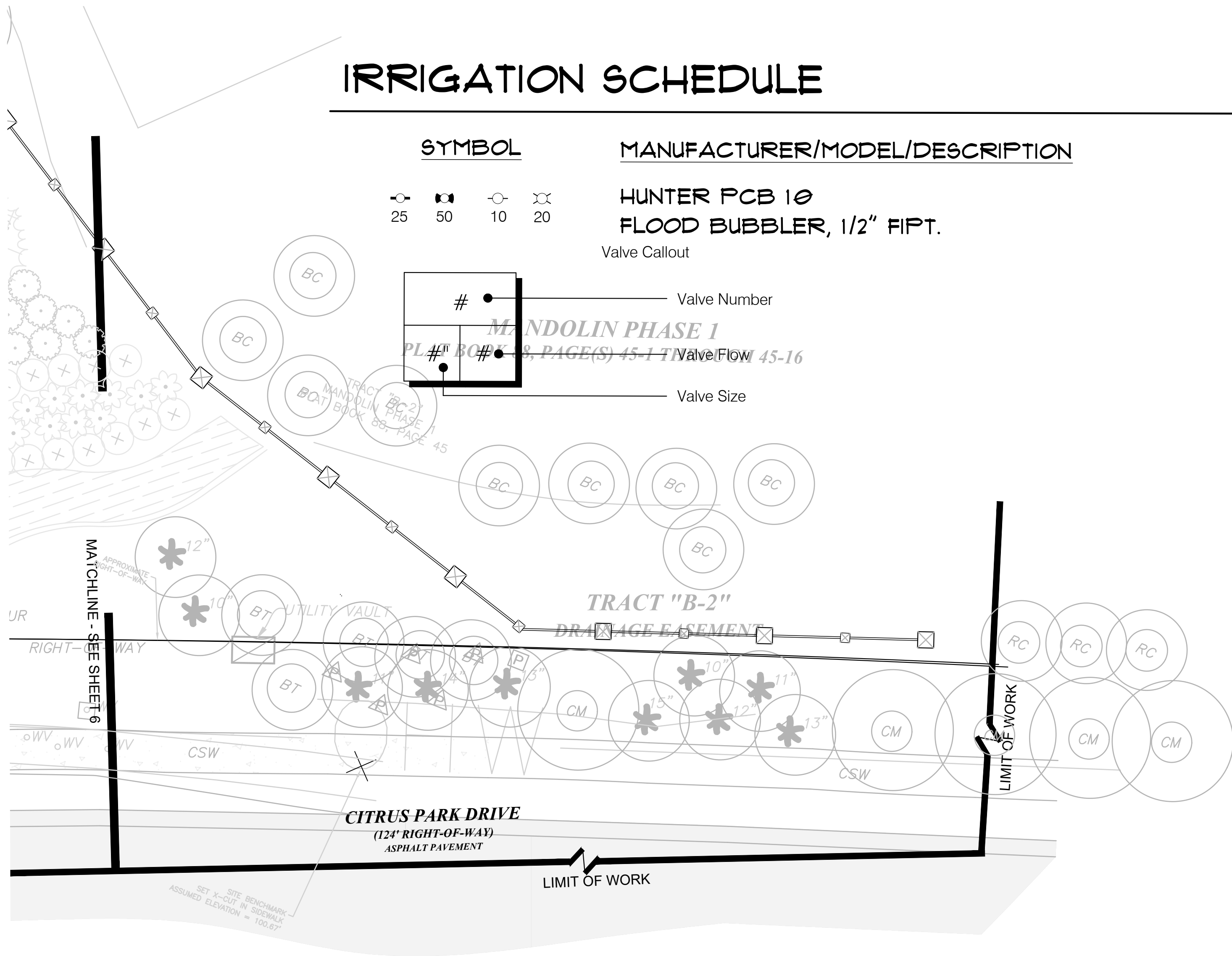
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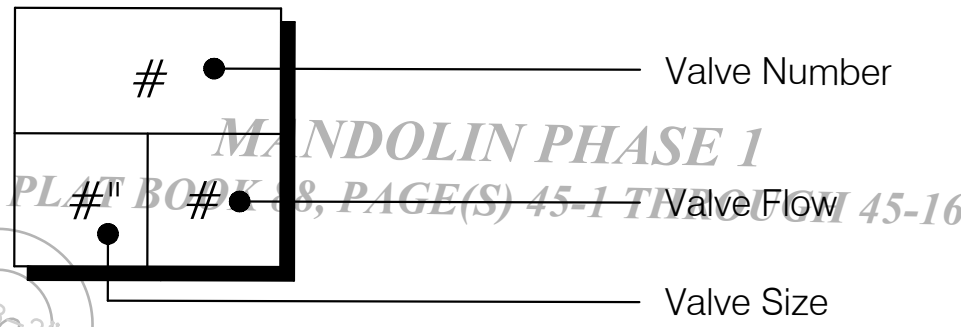


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## IRRIGATION SCHEDULE

| SYMBOL   | MANUFACTURER/MODEL/DESCRIPTION          | QTY | PSI | DETAIL |
|--|---|-----|-----|--------|
|  25 | HUNTER FCB 10 FLOOD BUBBLER, 1/2" FIPT. | 199 | 30  |        |
|  50 | Valve Callout                           |     |     |        |
|  10 |   |     |     |        |
|  20 |   |     |     |        |



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2005 PAN AM CIRCLE, STE. 120  
TAMPA, FL 33607

PROJECT NAME:  
**ENHANCEMENT  
PROJECT**

HILLSBOROUGH COUNTY

SHEET TITLE:  
**MANDOLIN ESTATES  
IRRIGATION PLAN**

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |

Celia R. Nichols, PLA, ASLA  
LA0001518

Date

SUBMITTAL DATE: 11-25-22  
DRAWN BY: CRN  
QA/QC: CRN  
NLA JOB NO.: PP21-1.2

SHEET NUMBER:

**IR-6**

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PHYSICAL ADDRESS: 30435 Commerce Drive, #102 San Antonio, FL 33576  
 MAILING ADDRESS: 12231 Main Street, #1196, San Antonio, FL 33576  
 PHONE #: (352)877-4463 | EMAIL: office@cypresscreekaquatics.com

# AQUATIC SERVICE REPORT

PROPERTY: Park Place DATE: 10/27/22

TECHNICIAN: Bryce PAGE: 1 of 1

WEATHER: \_\_\_\_\_ SERVICE: Monthly Aquatic Maintenance

| H2O CLARITY |                                     |
|-------------|-------------------------------------|
| < 1 Foot    | <input type="checkbox"/>            |
| 1 - 2 Feet  | <input type="checkbox"/>            |
| 2 - 4 Feet  | <input checked="" type="checkbox"/> |
| > 4 Feet    | <input type="checkbox"/>            |

| WILDLIFE OBSERVATIONS |           |           |           |         |                    |
|-----------------------|-----------|-----------|-----------|---------|--------------------|
| Deer                  | Egret     | Cormorant | Alligator | Bream   | OTHER:<br><br><br> |
| Otter                 | Heron     | Anhinga   | Turtle    | Bass    |                    |
| Opossum               | Ibis      | Osprey    | Snake     | Catfish |                    |
| Raccoon               | Woodstork | Ducks     | Frogs     | Carp    |                    |

|         | ALGAE                               | GRASSES & BRUSH                     | SUBMERGED VEGETATION                | FLOATING VEGETATION                 | WETLAND VEGETATION                  | INVASIVE TREES           | SPOT TREATMENT                      | PHYSICAL REMOVAL         |
|---------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|--------------------------|-------------------------------------|--------------------------|
| Pond 1  | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 2  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 3  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 4  | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 5  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 6  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 7  | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 8  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 9  | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 10 | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Pond 11 | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 12 | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 13 | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Pond 14 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 15 | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 16 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 17 | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 18 | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| Pond 19 | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |

Comments: Treated filamentous algae through out community. Lilly pads in pond 13 have decomposed. The algae in pond 15 is continuing to be reduced.

\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_





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6869 Phillips Parkway Drive S Jacksonville, FL 32256

Fax: 904-807-9158

Phone: 904-997-0044

---

## Service Report

**Date:** October 27, 2022

**Fountain Tech:** Jeff Jackson

**Client:** Mandolin Estates

**Contact:** Gene Roberts

**Pond 1 Fountain:** Quarterly maintenance service has been performed on the fountain. I cleaned the float, lights, intake screen, and the nozzle. The lights, timers, voltage, amperage, and mooring lines were checked on the fountain. All electrical readings are good. The Timers were reset for the upcoming time change.



**Please contact Charles Aquatics with questions or comments.**





---

6869 Phillips Parkway Drive S Jacksonville, FL 32256

Fax: 904-807-9158

Phone: 904-997-0044

---

## Service Report

**Date:** October 27, 2022

**Fountain Tech:** Jeff Jackson

**Client:** Mandolin Reserve

**Contact:** Gene Roberts

**Pond 1 Fountain:** Quarterly maintenance service has been performed on the fountain. I cleaned the float, lights, intake screen, and the nozzle. The lights, timers, voltage, amperage, and mooring lines were checked on the fountain. There was one LED light out. It had a failed color board assembly. The failed CBA was replaced and is covered under warranty. Both lights are working now. All electrical readings are good. The Timers were reset for the upcoming time change.



**Please contact Charles Aquatics with questions or comments.**



## MONTHLY MAINTENANCE INSPECTION GRADESHEET

Site: Highland Park

Date: 11/8/22

|                                   | MAXIMUM<br>VALUE | CURRENT<br>VALUE | CURRENT<br>DEDUCTION | REASON FOR DEDUCTION       |
|-----------------------------------|------------------|------------------|----------------------|----------------------------|
| <b>AQUATICS</b>                   |                  |                  |                      |                            |
| DEBRIS                            | 25               | 20               | -5                   | Trash in some of the ponds |
| INVASIVE MATERIAL (FLOATING)      | 20               | 15               | -5                   | Some algae                 |
| INVASIVE MATERIAL (SUBMERSED)     | 20               | 20               | 0                    | Good                       |
| FOUNTAINS/AERATORS                | 20               | 20               | 0                    | Good                       |
| DESIRABLE PLANTS                  | 15               | 15               | 0                    | Good                       |
| <b>AMENITIES</b>                  |                  |                  |                      |                            |
| CLUBHOUSE INTERIOR                | 4                | 4                | 0                    |                            |
| CLUBHOUSE EXTERIOR                | 3                | 3                | 0                    |                            |
| POOL WATER                        | 10               | 10               | 0                    |                            |
| POOL TILES                        | 10               | 10               | 0                    |                            |
| POOL LIGHTS                       | 5                | 5                | 0                    |                            |
| POOL FURNITURE/EQUIPMENT          | 8                | 8                | 0                    |                            |
| FIRST AID/SAFETY ITEMS            | 10               | 10               | 0                    |                            |
| SIGNAGE (rules, pool, playground) | 5                | 5                | 0                    |                            |
| PLAYGROUND EQUIPMENT              | 5                | 4                | -1                   | A broken swing             |
| RECREATIONAL FACILITIES           | 7                | 7                | 0                    | Good                       |
| RESTROOMS                         | 6                | 6                | 0                    | Clean                      |
| HARDSCAPE                         | 10               | 10               | 0                    |                            |
| ACCESS & MONITORING SYSTEM        | 3                | 3                | 0                    |                            |
| IT/PHONE SYSTEM                   | 3                | 3                | 0                    |                            |
| TRASH RECEPTACLES                 | 3                | 3                | 0                    | Fair                       |
| WATER FOUNTAINS                   | 8                | 8                | 0                    |                            |
| <b>MONUMENTS AND SIGNS</b>        |                  |                  |                      |                            |
| CLEAR VISIBILITY (Landscaping)    | 25               | 25               | 0                    | Good                       |
| PAINTING                          | 25               | 20               | -5                   | Fair                       |
| CLEANLINESS                       | 25               | 25               | 0                    | Good                       |
| GENERAL CONDITION                 | 25               | 22               | -3                   | Some banners are missing   |



## MONTHLY MAINTENANCE INSPECTION GRADESHEET

Site: Highland Park

Date: 11/8/22

|                                | MAXIMUM<br>VALUE | CURRENT<br>VALUE | CURRENT<br>DEDUCTION | REASON FOR DEDUCTION            |
|--------------------------------|------------------|------------------|----------------------|---------------------------------|
| <b>HIGH IMPACT LANDSCAPING</b> |                  |                  |                      |                                 |
| ENTRANCE MONUMENT              | 40               | 35               | -5                   | Fair                            |
| RECREATIONAL AREAS             | 30               | 25               | -5                   | Turf weeds at Fountainhead Park |
| SUBDIVISION MONUMENTS          | 30               | 30               | 0                    | Good                            |
| <b>HARDSCAPE ELEMENTS</b>      |                  |                  |                      |                                 |
| WALLS/FENCING                  | 15               | 12               | -3                   | Fair                            |
| SIDEWALKS                      | 30               | 30               | 0                    | Good                            |
| SPECIALTY MONUMENTS            | 15               | 15               | 0                    | Good                            |
| STREETS                        | 25               | 25               | 0                    | Good                            |
| PARKING LOTS                   | 15               | 15               | 0                    | Good                            |
| <b>LIGHTING ELEMENTS</b>       |                  |                  |                      |                                 |
| STREET LIGHTING                | 33               | 33               | 0                    | Good                            |
| LANDSCAPE UP LIGHTING          | 22               | 22               | 0                    |                                 |
| MONUMENT LIGHTING              | 30               | 30               | 0                    |                                 |
| AMENITY CENTER LIGHTING        | 15               | 15               | 0                    |                                 |
| <b>GATES</b>                   |                  |                  |                      |                                 |
| ACCESS CONTROL PAD             | 25               | 25               | 0                    | N/A                             |
| OPERATING SYSTEM               | 25               | 25               | 0                    | N/A                             |
| GATE MOTORS                    | 25               | 25               | 0                    | N/A                             |
| GATES                          | 25               | 25               | 0                    | N/A                             |
| <b>SCORE</b>                   | 700              | 668              | -32                  | 95%                             |

Manager's Signature: Gene Roberts

Supervisor's Signature: \_\_\_\_\_



### MONTHLY LANDSCAPE MAINTENANCE INSPECTION GRADESHEET

Site: Highland Park

Date: 11/8/22

| MAXIMUM<br>VALUE | CURRENT<br>VALUE | CURRENT<br>DEDUCTION | REASON FOR DEDUCTION |
|------------------|------------------|----------------------|----------------------|
|------------------|------------------|----------------------|----------------------|

#### LANDSCAPE MAINTENANCE

|                              |    |    |    |                                 |
|------------------------------|----|----|----|---------------------------------|
| TURF                         | 5  | 4  | -1 | Fair                            |
| TURF FERTILITY               | 10 | 8  | -2 | Fair                            |
| TURF EDGING                  | 5  | 5  | 0  | Good                            |
| WEED CONTROL - TURF AREAS    | 5  | 3  | -2 | Dollar weed-carryover           |
| TURF INSECT/DISEASE CONTROL  | 10 | 10 | 0  | None observed                   |
| PLANT FERTILITY              | 5  | 3  | -2 | Fair                            |
| WEED CONTROL - BED AREAS     | 5  | 3  | 0  | Detailing needed in some areas. |
| PLANT INSECT/DISEASE CONTROL | 5  | 4  | -1 | Spider mites                    |
| PRUNING                      | 10 | 8  | -2 | Fair                            |
| CLEANLINESS                  | 5  | 3  | -2 | Storm debris                    |
| MULCHING                     | 5  | 4  | -1 | Fair                            |
| WATER/IRRIGATION MGMT        | 8  | 8  | 0  |                                 |
| CARRYOVERS                   | 5  | 3  | -2 | Mites/weeds/cleanliness         |

#### SEASONAL COLOR/PERENNIAL MAINTENANCE

|                        |   |   |    |      |
|------------------------|---|---|----|------|
| VIGOR/APPEARANCE       | 7 | 5 | -2 | Fair |
| INSECT/DISEASE CONTROL | 7 | 7 | 0  |      |
| DEADHEADING/PRUNING    | 3 | 3 | 0  |      |

#### SCORE

|     |    |     |     |
|-----|----|-----|-----|
| 100 | 84 | -16 | 84% |
|-----|----|-----|-----|

Contractor Signature: \_\_\_\_\_

Manager's Signature: Gene Roberts

\_\_\_\_\_



## Inframark, LLC

### MONTHLY MAINTENANCE INSPECTION GRADESHEET

Site: Mandolin/Windsor

Date: 11/8/22

|                                   | MAXIMUM<br>VALUE | CURRENT<br>VALUE | CURRENT<br>DEDUCTION | REASON FOR DEDUCTION          |
|-----------------------------------|------------------|------------------|----------------------|-------------------------------|
| <b>AQUATICS</b>                   |                  |                  |                      |                               |
| DEBRIS                            | 25               | 22               | -3                   | Trash in several ponds        |
| INVASIVE MATERIAL (FLOATING)      | 20               | 20               | 0                    | Pond conditions have improved |
| INVASIVE MATERIAL (SUBMERSED)     | 20               | 18               | -2                   | Some perimeter weeds          |
| FOUNTAINS/AERATORS                | 20               | 20               | 0                    | Good                          |
| DESIRABLE PLANTS                  | 15               | 15               | 0                    | N/A                           |
| <b>AMENITIES</b>                  |                  |                  |                      |                               |
| CLUBHOUSE INTERIOR                | 4                | 4                | 0                    |                               |
| CLUBHOUSE EXTERIOR                | 3                | 3                | 0                    |                               |
| POOL WATER                        | 10               | 10               | 0                    |                               |
| POOL TILES                        | 10               | 10               | 0                    |                               |
| POOL LIGHTS                       | 5                | 5                | 0                    |                               |
| POOL FURNITURE/EQUIPMENT          | 8                | 8                | 0                    |                               |
| FIRST AID/SAFETY ITEMS            | 10               | 10               | 0                    |                               |
| SIGNAGE (rules, pool, playground) | 5                | 5                | 0                    |                               |
| PLAYGROUND EQUIPMENT              | 5                | 5                | 0                    |                               |
| RECREATIONAL FACILITIES           | 7                | 7                | 0                    |                               |
| RESTROOMS                         | 6                | 6                | 0                    |                               |
| HARDSCAPE                         | 10               | 10               | 0                    |                               |
| ACCESS & MONITORING SYSTEM        | 3                | 3                | 0                    |                               |
| IT/PHONE SYSTEM                   | 3                | 3                | 0                    |                               |
| TRASH RECEPTACLES                 | 3                | 3                | 0                    |                               |
| WATER FOUNTAINS                   | 8                | 8                | 0                    |                               |
| <b>MONUMENTS AND SIGNS</b>        |                  |                  |                      |                               |
| CLEAR VISIBILITY (Landscaping)    | 25               | 25               | 0                    | Good                          |
| PAINTING                          | 25               | 20               | -5                   | Fair                          |
| CLEANLINESS                       | 25               | 20               | -5                   | Fair                          |
| GENERAL CONDITION                 | 25               | 20               | -5                   | Fair                          |



## Inframark, LLC

### MONTHLY MAINTENANCE INSPECTION GRADESHEET

Site: Mandolin/Windsor

Date: 11/8/22

|                                | MAXIMUM<br>VALUE | CURRENT<br>VALUE | CURRENT<br>DEDUCTION | REASON FOR DEDUCTION    |
|--------------------------------|------------------|------------------|----------------------|-------------------------|
| <b>HIGH IMPACT LANDSCAPING</b> |                  |                  |                      |                         |
| ENTRANCE MONUMENT              | 40               | 25               | -15                  | Storm debris/turf weeds |
| RECREATIONAL AREAS             | 30               | 30               | 0                    |                         |
| SUBDIVISION MONUMENTS          | 30               | 20               | -10                  | Fair                    |
| <b>HARDSCAPE ELEMENTS</b>      |                  |                  |                      |                         |
| WALLS/FENCING                  | 15               | 15               | 0                    | Good                    |
| SIDEWALKS                      | 30               | 30               | 0                    | Good                    |
| SPECIALTY MONUMENTS            | 15               | 15               | 0                    |                         |
| STREETS                        | 25               | 25               | 0                    | Good                    |
| PARKING LOTS                   | 15               | 15               | 0                    | N/A                     |
| <b>LIGHTING ELEMENTS</b>       |                  |                  |                      |                         |
| STREET LIGHTING                | 33               | 33               | 0                    |                         |
| LANDSCAPE UP LIGHTING          | 22               | 22               | 0                    |                         |
| MONUMENT LIGHTING              | 30               | 30               | 0                    |                         |
| AMENITY CENTER LIGHTING        | 15               | 15               | 0                    |                         |
| <b>GATES</b>                   |                  |                  |                      |                         |
| ACCESS CONTROL PAD             | 25               | 25               | 0                    | Good                    |
| OPERATING SYSTEM               | 25               | 25               | 0                    | Good                    |
| GATE MOTORS                    | 25               | 25               | 0                    | Good                    |
| GATES                          | 25               | 25               | 0                    | Good                    |
| <b>SCORE</b>                   | 700              | 655              | -45                  | 94%                     |

Manager's Signature: \_\_\_\_\_

Supervisor's Signature: \_\_\_\_\_



## MONTHLY LANDSCAPE MAINTENANCE INSPECTION GRADESHEET

**Site:** Mandolin Estates

**Date:** Tuesday, November 8, 2022

|                              | MAXIMUM<br>VALUE | CURRENT<br>VALUE | CURRENT<br>DEDUCTION | REASON FOR DEDUCTION    |
|------------------------------|------------------|------------------|----------------------|-------------------------|
| <b>LANDSCAPE MAINTENANCE</b> |                  |                  |                      |                         |
| TURF                         | 5                | 3                | -2                   | Poor                    |
| TURF FERTILITY               | 10               | 10               | 0                    | Good                    |
| TURF EDGING                  | 5                | 5                | 0                    | Good                    |
| WEED CONTROL - TURF AREAS    | 5                | 2                | -3                   | Dollar weed             |
| TURF INSECT/DISEASE CONTROL  | 10               | 10               | 0                    | None observed           |
| PLANT FERTILITY              | 5                | 3                | -2                   | Fair                    |
| WEED CONTROL - BED AREAS     | 5                | 4                | -1                   | Some detailing needed   |
| PLANT INSECT/DISEASE CONTROL | 5                | 4                | -1                   | Mites have been treated |
| PRUNING                      | 10               | 8                | -2                   | Some trimming needed    |
| CLEANLINESS                  | 5                | 3                | -2                   | Storm debris            |
| MULCHING                     | 5                | 4                | -1                   | Fair                    |
| WATER/IRRIGATION MGMT        | 8                | 6                | -2                   | Entrance is wet.        |
| CARRYOVERS                   | 5                | 4                | -1                   | Turf weeds/Cleanliness  |

### SEASONAL COLOR/PERENNIAL MAINTENANCE

|                        |   |   |    |      |
|------------------------|---|---|----|------|
| VIGOR/APPEARANCE       | 7 | 5 | -2 | Fair |
| INSECT/DISEASE CONTROL | 7 | 7 | 0  |      |
| DEADHEADING/PRUNING    | 3 | 3 | 0  |      |

### SCORE

|     |    |     |     |
|-----|----|-----|-----|
| 100 | 81 | -19 | 81% |
|-----|----|-----|-----|

**Contractor Signature:** \_\_\_\_\_

**Manager's Signature:** GR

**Supervisor's Signature:** \_\_\_\_\_



## MONTHLY LANDSCAPE MAINTENANCE INSPECTION GRADESHEET

**Site:** Mandolin Reserve

**Date:** Tuesday, November 8, 2022

|                              | MAXIMUM<br>VALUE | CURRENT<br>VALUE | CURRENT<br>DEDUCTION | REASON FOR DEDUCTION       |
|------------------------------|------------------|------------------|----------------------|----------------------------|
| <b>LANDSCAPE MAINTENANCE</b> |                  |                  |                      |                            |
| TURF                         | 5                | 2                | -3                   | Poor                       |
| TURF FERTILITY               | 10               | 10               | 0                    | Ok                         |
| TURF EDGING                  | 5                | 5                | 0                    | Good                       |
| WEED CONTROL - TURF AREAS    | 5                | 2                | -3                   | Heavy weed pressure        |
| TURF INSECT/DISEASE CONTROL  | 10               | 10               | 0                    | None observed              |
| PLANT FERTILITY              | 5                | 4                | -1                   | Fair                       |
| WEED CONTROL - BED AREAS     | 5                | 5                | 0                    | Good                       |
| PLANT INSECT/DISEASE CONTROL | 5                | 5                | 0                    | None observed              |
| PRUNING                      | 10               | 8                | -2                   | Palm trees at the entrance |
| CLEANLINESS                  | 5                | 4                | -1                   | Fair                       |
| MULCHING                     | 5                | 4                | -1                   | Fair                       |
| WATER/IRRIGATION MGMT        | 8                | 5                | -3                   | Entrance is too wet.       |
| CARRYOVERS                   | 5                | 4                | -1                   | Turf weeds                 |

### SEASONAL COLOR/PERENNIAL MAINTENANCE

|                        |   |   |    |      |
|------------------------|---|---|----|------|
| VIGOR/APPEARANCE       | 7 | 5 | -2 | Fair |
| INSECT/DISEASE CONTROL | 7 | 7 | 0  |      |
| DEADHEADING/PRUNING    | 3 | 3 | 0  |      |

### SCORE

|     |    |     |     |
|-----|----|-----|-----|
| 100 | 83 | -17 | 83% |
|-----|----|-----|-----|

**Contractor Signature:** \_\_\_\_\_

**Manager's Signature:** GR

**Supervisor's Signature:** \_\_\_\_\_





The Allamanda plants have been replaced with Pittosporum at Mandolin Reserve exit and it looks better.



The turf at the Reserve exit has heavy weed pressure.





The annuals look good at Mandolin Estates entrance but the turf also has heavy weed pressure.



A swing at the playground needs to be repaired.





The landscape around the park is in good condition.



Fountainhead Park has heavy Dollar weed pressure in the turf.





The Fakahatchee grass near the bus stop needs to be treated for Spider mites.





The Muhly grass is in bloom and looks good.



The Palmettoes along Perfect Place should be cut back and detailed.





Several areas need wind debris cleaned up.



The trees along Fountainhead Drive need to be cut back.





The Fakahatchee grass along Bournemouth has been trimmed.



The island tips near Lake Dagny needs some attention.





Deer have eaten the annuals at Lake Dagny entrance.



The landscape needs to be trimmed back from the sidewalk at Coach Home entrance.



# INFRAMARK

## *PARK PLACE CDD*

### **STATUS REPORT**

TO: Board of Supervisors  
FROM: Angie Grunwald  
DATE: November 9<sup>th</sup>, 2022  
SUBJECT: Management Report

#### **Improvements:**

1. The Meeting Book will be posted online the same day that it is sent to the board.
2. The missing information on the website should now be updated online.
3. The damaged electrical box at the Estates was removed by the electrician. He confirmed that it was connected to an old irrigation pump that was no longer in use.
4. We have new reporting software which has changed the format of the financial reports.

#### **Action Items:**

1. The stop sign at Racetrack Rd and Ecclesia is scheduled to be replaced on 11-9-22.
2. I spoke with the vendor that installed the turf and they indicated that most of the rubber patches at the park were repaired years ago by someone else before they started their work. They advised that they can't match the existing rubber and it will need to be painted or replaced.
3. Christmas decorations will be installed by 11-21-22.

Please send me any consent agenda questions prior to the meeting so I can answer them for you.

Thank you!

Angie



**RESOLUTION 2023-01**

**A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE PARK PLACE COMMUNITY DEVELOPMENT DISTRICT AMENDING THE GENERAL FUND BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2021, AND ENDING SEPTEMBER 30, 2022; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Park Place Community Development District (the “**District**”) is a local unit of special-purpose government created and existing pursuant to Chapter 190, Florida Statutes, being situated entirely within unincorporated Hillsborough County, Florida;

**WHEREAS**, the Board of Supervisors of the District (the “**Board**”) adopted a General Fund Budget for the fiscal year beginning October 1, 2021, and ending September 30, 2022;

**WHEREAS**, pursuant to Section 189.016, Florida Statutes the Board desires to reallocate funds budgeted to reflect re-appropriated revenues and expenses during Fiscal Year 2021/2022.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD:**

1. **Amending the General Fund Budget for Fiscal Year 2021/2022.** The General Fund Budget for Fiscal Year 2021/2022 is hereby amended as shown in **Exhibit “A”** attached hereto. The District Manager shall post the amended budget on the District’s official website within 5 days after adoption and ensure it remains on the website for at least 2 years.
2. **Effective Date.** This Resolution shall become effective immediately upon its adoption.

**PASSED AND ADOPTED THIS 16<sup>th</sup> DAY OF NOVEMBER 2022.**

**Attest:**

**Park Place Community  
Development District**

\_\_\_\_\_  
Name: \_\_\_\_\_  
Secretary/Assistant Secretary

\_\_\_\_\_  
Name: \_\_\_\_\_  
Chair / Vice Chair of the Board of Supervisors

Exhibit A: Amended General Fund Budget for Fiscal Year 2021/2022



# **Park Place Community Development District**

Amended  
Fiscal Year 2022  
Final Annual Operating Budget

November 16, 2022

Prepared by:



2005 Pan Am Circle ~ Suite 300 ~ Tampa, Florida 33607  
Phone (813) 873-7300 ~ Fax (813) 873-7070



# Park Place Community Development District

Amended  
Fiscal Year 2022  
Final Annual Operating Budget

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November 16, 2022



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### BUDGET INTRODUCTION

#### **Background Information**

The Park Place Community Development District is a local special purpose government authorized by Chapter 190, Florida Statutes, as amended. The Community Development District (CDD) is an alternative method for planning, financing, acquiring, operating and maintaining community-wide infrastructure in master planned communities. The CDD also is a mechanism that provides a “solution” to the State’s needs for delivery of capital infrastructure to service projected growth without overburdening other governments and their taxpayers. CDDs represent a major advancement in Florida’s effort to manage its growth effectively and efficiently. This allows the community to set a higher standard for construction along with providing a long-term solution to the operation and maintenance of community facilities.

The following report represents the District budget for Fiscal Year 2022, which begins on October 1, 2021. The District budget is organized by fund to segregate financial resources and ensure that the segregated resources are used for their intended purpose, and the District has established the following funds.

| <b><u>Fund Number</u></b> | <b><u>Fund Name</u></b> | <b><u>Services Provided</u></b>  |
|---------------------------|-------------------------|--|
| 001                       | General Fund            | Operations and Maintenance of Community Facilities Financed by Non-Ad Valorem Assessments                        |
| 202                       | Debt Service Fund       | Collection of Special Assessments for Debt Service on the Series 2014 Special Assessment Revenue Refunding Bonds |
| 203                       | Debt Service Fund       | Collection of Special Assessments for Debt Service on the Series 2008 Special Assessment Revenue Refunding Bonds |

#### **Facilities of the District**

The District’s existing facilities include storm-water management (lake and water control structures), wetland preserve areas, street lighting, landscaping, entry signage, entry features, irrigation distribution facilities, recreational center, parks, pool facility, tennis courts and other related public improvements.

#### **Maintenance of the Facilities**

In order to maintain the facilities, the District conducts hearings to adopt an operating budget each year. This budget includes a detailed description of the maintenance program along with an estimate of the cost of the program. The funding of the maintenance budget is levied as a non-ad valorem assessment on your property by the District Board of Supervisors.



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 103 MIXED USE

|   | Fiscal Year 2021 Final<br>Operating Budget | Current Period Actuals<br>10/1/20 - 3/31/21 | Projected Revenues &<br>Expenditures<br>4/1/21 to 9/30/21 | Total Actuals and<br>Projections Through<br>9/30/21 | Over/(Under) Budget<br>Through 9/30/21 |
|---|--|---|---|---|--|
| <b>REVENUES</b>                                     |  |   |   |   |  |
| <b>SPECIAL ASSESSMENTS</b>                          |  |   |   |   |  |
| O&M Assessments-Tax Roll                            | 75,457.55                                  | 73,556.96                                   | 1,900.59  | 75,457.55   | 0.00                                   |
| <b>TOTAL SPECIAL ASSESSMENTS</b>                    | <b>75,457.55</b>                           | <b>73,556.96</b>                            | <b>1,900.59</b>   | <b>75,457.55</b>                                    | <b>0.00</b>                            |
| <b>TOTAL REVENUES</b>                               | <b>\$75,457.55</b>                         | <b>\$73,556.96</b>                          | <b>\$1,900.59</b>   | <b>\$75,457.55</b>                                  | <b>\$0.00</b>                          |
| <b>EXPENDITURES</b>                                 |  |   |   |   |  |
| <b>ELECTRIC UTILITY SERVICES</b>                    |  |   |   |   |  |
| Electric Utility Services                           | 1,200.00                                   | 826.73                                      | 823.27  | 1,650.00  | 450.00                                 |
| <b>TOTAL ELECTRIC UTILITY SERVICES</b>              | <b>1,200.00</b>                            | <b>826.73</b>                               | <b>823.27</b>   | <b>1,650.00</b>                                     | <b>450.00</b>                          |
| <b>WATER-SEWER COMBINATION SERVICES</b>             |  |   |   |   |  |
| Water Utility Services                              | 1,800.00                                   | 987.55                                      | 1,012.45  | 2,000.00  | 200.00                                 |
| <b>TOTAL WATER-SEWER COMBINATION SERVICES</b>       | <b>1,800.00</b>                            | <b>987.55</b>                               | <b>1,012.45</b>   | <b>2,000.00</b>                                     | <b>200.00</b>                          |
| <b>OTHER PHYSICAL ENVIRONMENT</b>                   |  |   |   |   |  |
| Storm Drain Maintenance                             | 1,500.00                                   | 650.00                                      | 0.00  | 650.00  | (850.00)                               |
| General Liability Insurance                         | 0.00                                       | 2,359.00                                    | 0.00  | 2,359.00  | 2,359.00                               |
| Plant Replacement Program                           | 5,000.00                                   | 939.10                                      | 1,060.90  | 2,000.00  | (3,000.00)                             |
| Plant Replacement Program - Racetrack Road          | 3,000.00                                   | 1,395.00                                    | 605.00  | 2,000.00  | (1,000.00)                             |
| Landscape Maintenance - Other                       | 2,500.00                                   | 0.00  | 1,000.00  | 1,000.00  | (1,500.00)                             |
| Landscape Installation/Maintenance - Race Track Rd  | 2,000.00                                   | 0.00  | 1,000.00  | 1,000.00  | (1,000.00)                             |
| Aquatics Maintenance                                | 6,157.00                                   | 3,240.00                                    | 3,260.00  | 6,500.00  | 343.00                                 |
| Aquatics Maintenance - Other                        | 3,000.00                                   | 0.00  | 1,000.00  | 1,000.00  | (2,000.00)                             |
| Landscape Maintenance - Highland Park Contract      | 18,000.00                                  | 13,339.92                                   | 12,660.08   | 26,000.00   | 8,000.00                               |
| Landscape Maintenance - Racetrack Road Contract     | 12,000.00                                  | 2,795.70                                    | 2,704.30  | 5,500.00  | (6,500.00)                             |
| Irrigation Maintenance                              | 9,000.00                                   | 2,583.07                                    | 1,916.93  | 4,500.00  | (4,500.00)                             |
| Entry/Gate/Walls Maintenance                        | 1,000.00                                   | 0.00  | 500.00  | 500.00  | (500.00)                               |
| Miscellaneous Repairs & Maintenance                 | 1,500.00                                   | 119.95                                      | 630.05  | 750.00  | (750.00)                               |
| Pressure Washing - Common Areas                     | 0.00                                       | 2,237.50                                    | (0.50)  | 2,237.00  | 2,237.00                               |
| <b>TOTAL OTHER PHYSICAL ENVIRONMENT</b>             | <b>64,657.00</b>                           | <b>29,659.24</b>                            | <b>26,336.76</b>  | <b>55,996.00</b>                                    | <b>(8,661.00)</b>                      |
| <b>ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>         |  |   |   |   |  |
| Pavement & Signage Repairs                          | 1,000.55                                   | 3,747.57                                    | 252.43  | 4,000.00  | 2,999.45                               |
| Sidewalk Maintenance                                | 2,000.00                                   | 1,200.00                                    | 800.00  | 2,000.00  | 0.00                                   |
| Street Light Maintenance                            | 1,000.00                                   | 584.07                                      | 915.93  | 1,500.00  | 500.00                                 |
| Decorative Light Maintenance                        | 1,000.00                                   | 1,059.25                                    | 940.75  | 2,000.00  | 1,000.00                               |
| Holiday Decor                                       | 1,000.00                                   | 3,125.00                                    | 0.00  | 3,125.00  | 2,125.00                               |
| <b>TOTAL ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>   | <b>6,000.55</b>                            | <b>9,715.89</b>                             | <b>2,909.11</b>   | <b>12,625.00</b>                                    | <b>6,624.45</b>                        |
| <b>PARKS &amp; RECREATION</b>                       |  |   |   |   |  |
| Fountain Maintenance                                | 300.00                                     | 763.31                                      | 736.69  | 1,500.00  | 1,200.00                               |
| Park Facility Janitorial Maintenance Contracted     | 1,000.00                                   | 527.50                                      | 437.50  | 965.00  | (35.00)                                |
| Park Facility Maintenance and Improvement           | 500.00                                     | 399.81                                      | 321.74  | 721.55  | 221.55                                 |
| <b>TOTAL PARKS &amp; RECREATION</b>                 | <b>1,800.00</b>                            | <b>1,690.62</b>                             | <b>1,495.93</b>   | <b>3,186.55</b>                                     | <b>1,386.55</b>                        |
| <b>TOTAL EXPENDITURES</b>                           | <b>\$75,457.55</b>                         | <b>\$42,880.03</b>                          | <b>\$32,577.52</b>  | <b>\$75,457.55</b>                                  | <b>\$0.00</b>                          |
| <b>EXCESS OF REVENUES OVER (UNDER) EXPENDITURES</b> | <b>\$0.00</b>                              | <b>\$30,676.93</b>                          | <b>(\$30,676.93)</b>                                      | <b>\$0.00</b>                                       | <b>\$0.00</b>                          |

## FISCAL YEAR 2021 BUDGET ANALYSIS



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 103 MIXED USE

|   | Fiscal Year 2020 Final<br>Operating Budget | Total Actuals and<br>Projections Through<br>9/30/20 | Over/(Under) Budget<br>Through 9/30/20 | Fiscal Year 2022 Final<br>Operating Budget | Increase / (Decrease)<br>from<br>FY 2021 to FY 2022 |
|---|--|---|--|--|---|
| <b>REVENUES</b>                                       |  |   |  |  |   |
| <b>SPECIAL ASSESSMENTS</b>                            |  |   |  |  |   |
| O&M Assessments-Tax Roll                              | 75,457.55                                  | 75,457.55   | 0.00                                   | 75,458.00                                  | 0.45  |
| <b>TOTAL SPECIAL ASSESSMENTS</b>                      | <b>75,457.55</b>                           | <b>75,457.55</b>                                    | <b>0.00</b>                            | <b>75,458.00</b>                           | <b>0.45</b>   |
| <b>OTHER MISCELLANEOUS REVENUES - MIXED USE</b>       |  |   |  |  |   |
| Contributions Carried Forward Fund Balance            | 0.00                                       | 0.00  | 0.00                                   | 67,628.00                                  | 67,628.00   |
| <b>TOTAL OTHER MISCELLANEOUS REVENUES - MIXED USE</b> | <b>0.00</b>                                | <b>0.00</b>   | <b>0.00</b>                            | <b>67,628.00</b>                           | <b>67,628.00</b>                                    |
| <b>TOTAL REVENUES</b>                                 | <b>\$75,457.55</b>                         | <b>\$75,457.55</b>                                  | <b>\$0.00</b>                          | <b>\$143,086.00</b>                        | <b>\$67,628.45</b>                                  |
| <b>EXPENDITURES</b>                                   |  |   |  |  |   |
| <b>ELECTRIC UTILITY SERVICES</b>                      |  |   |  |  |   |
| Electric Utility Services                             | 1,200.00                                   | 1,650.00  | 450.00                                 | 1,650.00                                   | 450.00  |
| <b>TOTAL ELECTRIC UTILITY SERVICES</b>                | <b>1,200.00</b>                            | <b>1,650.00</b>                                     | <b>450.00</b>                          | <b>1,650.00</b>                            | <b>450.00</b>                                       |
| <b>WATER-SEWER COMBINATION SERVICES</b>               |  |   |  |  |   |
| Water Utility Services                                | 1,800.00                                   | 2,000.00  | 200.00                                 | 2,000.00                                   | 200.00  |
| <b>TOTAL WATER-SEWER COMBINATION SERVICES</b>         | <b>1,800.00</b>                            | <b>2,000.00</b>                                     | <b>200.00</b>                          | <b>2,000.00</b>                            | <b>200.00</b>                                       |
| <b>OTHER PHYSICAL ENVIRONMENT</b>                     |  |   |  |  |   |
| Storm Drain Maintenance                               | 1,500.00                                   | 650.00  | (850.00)                               | 650.00                                     | (850.00)  |
| General Liability Insurance                           | 0.00                                       | 2,359.00  | 2,359.00                               | 2,628.00                                   | 2,628.00  |
| Plant Replacement Program                             | 5,000.00                                   | 2,000.00  | (3,000.00)                             | 3,500.00                                   | (1,500.00)  |
| Plant Replacement Program - Racetrack Road            | 3,000.00                                   | 2,000.00  | (1,000.00)                             | 2,000.00                                   | (1,000.00)  |
| Landscape Maintenance - Other                         | 2,500.00                                   | 1,000.00  | (1,500.00)                             | 1,000.00                                   | (1,500.00)  |
| Landscape Installation/Maintenance - Race Track Rd    | 2,000.00                                   | 1,000.00  | (1,000.00)                             | 1,000.00                                   | (1,000.00)  |
| Aquatics Maintenance                                  | 6,157.00                                   | 6,500.00  | 343.00                                 | 6,500.00                                   | 343.00  |
| Aquatics Maintenance - Other                          | 3,000.00                                   | 1,000.00  | (2,000.00)                             | 1,500.00                                   | (1,500.00)  |
| Landscape Maintenance - Highland Park Contract        | 18,000.00                                  | 26,000.00   | 8,000.00                               | 26,000.00                                  | 8,000.00  |
| Landscape Maintenance - Racetrack Road Contract       | 12,000.00                                  | 5,500.00  | (6,500.00)                             | 6,000.00                                   | (6,000.00)  |
| Irrigation Maintenance                                | 9,000.00                                   | 4,500.00  | (4,500.00)                             | 5,000.00                                   | (4,000.00)  |
| Entry/Gate/Walls Maintenance                          | 1,000.00                                   | 500.00  | (500.00)                               | 1,000.00                                   | 0.00  |
| Miscellaneous Repairs & Maintenance                   | 1,500.00                                   | 750.00  | (750.00)                               | 1,500.00                                   | 0.00  |
| Pressure Washing - Common Areas                       | 0.00                                       | 2,237.00  | 2,237.00                               | 2,200.00                                   | 2,200.00  |
| <b>TOTAL OTHER PHYSICAL ENVIRONMENT</b>               | <b>64,657.00</b>                           | <b>55,996.00</b>                                    | <b>(8,661.00)</b>                      | <b>60,478.00</b>                           | <b>(4,179.00)</b>                                   |
| <b>ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>           |  |   |  |  |   |
| Pavement & Signage Repairs                            | 1,000.55                                   | 4,000.00  | 2,999.45                               | 69,000.00                                  | 67,999.45   |
| Sidewalk Maintenance                                  | 2,000.00                                   | 2,000.00  | 0.00                                   | 2,000.00                                   | 0.00  |
| Street Light Maintenance                              | 1,000.00                                   | 1,500.00  | 500.00                                 | 1,383.00                                   | 383.00  |
| Decorative Light Maintenance                          | 1,000.00                                   | 2,000.00  | 1,000.00                               | 1,000.00                                   | 0.00  |
| Holiday Decor   | 1,000.00                                   | 3,125.00  | 2,125.00                               | 3,125.00                                   | 2,125.00  |
| <b>TOTAL ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>     | <b>6,000.55</b>                            | <b>12,625.00</b>                                    | <b>6,624.45</b>                        | <b>76,508.00</b>                           | <b>70,507.45</b>                                    |
| <b>PARKS &amp; RECREATION</b>                         |  |   |  |  |   |
| Fountain Maintenance                                  | 300.00                                     | 1,500.00  | 1,200.00                               | 1,000.00                                   | 700.00  |
| Park Facility Janitorial Maintenance Contracted       | 1,000.00                                   | 965.00  | (35.00)                                | 950.00                                     | (50.00)   |
| Park Facility Maintenance and Improvement             | 500.00                                     | 721.55  | 221.55                                 | 500.00                                     | 0.00  |
| <b>TOTAL PARKS &amp; RECREATION</b>                   | <b>1,800.00</b>                            | <b>3,186.55</b>                                     | <b>1,386.55</b>                        | <b>2,450.00</b>                            | <b>650.00</b>                                       |
| <b>TOTAL EXPENDITURES</b>                             | <b>\$75,457.55</b>                         | <b>\$75,457.55</b>                                  | <b>\$0.00</b>                          | <b>\$143,086.00</b>                        | <b>\$67,628.45</b>                                  |
| <b>EXCESS OF REVENUES OVER (UNDER) EXPENDITURES</b>   | <b>\$0.00</b>                              | <b>\$0.00</b>                                       | <b>\$0.00</b>                          | <b>\$0.00</b>                              | <b>\$0.00</b>                                       |

FISCAL YEAR 2022  
FINAL ANNUAL OPERATING BUDGET



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 101 WINDSOR/MANDOLIN

|   | Fiscal Year 2021 Final<br>Operating Budget | Current Period Actuals<br>10/1/20 - 3/31/21 | Projected Revenues &<br>Expenditures<br>4/1/21 to 9/30/21 | Total Actuals and<br>Projections Through<br>9/30/21 | Over/(Under) Budget<br>Through 9/30/21 |
|---|--|---|---|---|--|
| <b>REVENUES</b>                                     |  |   |   |   |  |
| <b>SPECIAL ASSESSMENTS</b>                          |  |   |   |   |  |
| O&M Assessments-Tax Roll                            | 215,224.40                                 | 209,803.79                                  | 5,420.61  | 215,224.40  | 0.00                                   |
| <b>TOTAL SPECIAL ASSESSMENTS</b>                    | <b>215,224.40</b>                          | <b>209,803.79</b>                           | <b>5,420.61</b>   | <b>215,224.40</b>                                   | <b>0.00</b>                            |
| <b>TOTAL REVENUES</b>                               | <b>\$215,224.40</b>                        | <b>\$209,803.79</b>                         | <b>\$5,420.61</b>   | <b>\$215,224.40</b>                                 | <b>\$0.00</b>                          |
| <b>EXPENDITURES</b>                                 |  |   |   |   |  |
| <b>ELECTRIC UTILITY SERVICES</b>                    |  |   |   |   |  |
| Electric Utility Services                           | 28,000.00                                  | 19,065.47                                   | 18,934.53   | 38,000.00   | 10,000.00                              |
| <b>TOTAL ELECTRIC UTILITY SERVICES</b>              | <b>28,000.00</b>                           | <b>19,065.47</b>                            | <b>18,934.53</b>  | <b>38,000.00</b>                                    | <b>10,000.00</b>                       |
| <b>WATER-SEWER COMBINATION SERVICES</b>             |  |   |   |   |  |
| Water Utility Services                              | 600.00                                     | 270.91                                      | 329.09  | 600.00  | 0.00                                   |
| <b>TOTAL WATER-SEWER COMBINATION SERVICES</b>       | <b>600.00</b>                              | <b>270.91</b>                               | <b>329.09</b>   | <b>600.00</b>                                       | <b>0.00</b>                            |
| <b>OTHER PHYSICAL ENVIRONMENT</b>                   |  |   |   |   |  |
| Storm Drain Maintenance                             | 3,500.00                                   | 2,900.00                                    | 400.00  | 3,300.00  | (200.00)                               |
| General Liability Insurance                         | 5,248.00                                   | 4,246.20                                    | 0.00  | 4,246.20  | (1,001.80)                             |
| Plant Replacement Program                           | 13,000.00                                  | 3,756.42                                    | 1,743.58  | 5,500.00  | (7,500.00)                             |
| Landscape Maintenance - Contract                    | 80,000.00                                  | 44,108.06                                   | (8,108.06)  | 36,000.00   | (44,000.00)                            |
| Landscape Maintenance - Other                       | 15,000.00                                  | 0.00  | 5,000.00  | 5,000.00  | (10,000.00)                            |
| Aquatics Maintenance                                | 11,500.00                                  | 6,000.00                                    | 6,000.00  | 12,000.00   | 500.00                                 |
| Aquatics Maintenance - Other                        | 6,000.00                                   | 250.00                                      | 2,250.00  | 2,500.00  | (3,500.00)                             |
| Irrigation Maintenance                              | 7,500.00                                   | 4,351.03                                    | 3,648.97  | 8,000.00  | 500.00                                 |
| Entry /Gate/ Walls Maintenance                      | 3,500.00                                   | 3,240.00                                    | 260.00  | 3,500.00  | 0.00                                   |
| Capital Improvements                                | 13,540.00                                  | 20,632.21                                   | 0.00  | 20,632.21   | 7,092.21                               |
| Pressure Washing - Common Areas                     | 6,000.00                                   | 1,290.00                                    | 4,710.00  | 6,000.00  | 0.00                                   |
| <b>TOTAL OTHER PHYSICAL ENVIRONMENT</b>             | <b>164,788.00</b>                          | <b>90,773.92</b>                            | <b>15,904.49</b>  | <b>106,678.41</b>                                   | <b>(58,109.59)</b>                     |
| <b>ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>         |  |   |   |   |  |
| Pavement & Signage Repairs                          | 3,336.40                                   | 160.00                                      | 840.00  | 1,000.00  | (2,336.40)                             |
| Sidewalk Maintenance                                | 5,000.00                                   | 3,093.00                                    | 1,407.00  | 4,500.00  | (500.00)                               |
| Decorative Light Maintenance                        | 2,000.00                                   | 2,045.00                                    | 955.00  | 3,000.00  | 1,000.00                               |
| Holiday Decor                                       | 7,500.00                                   | 7,000.00                                    | 0.00  | 7,000.00  | (500.00)                               |
| <b>TOTAL ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>   | <b>17,836.40</b>                           | <b>12,298.00</b>                            | <b>3,202.00</b>   | <b>15,500.00</b>                                    | <b>(2,336.40)</b>                      |
| <b>PARKS &amp; RECREATION</b>                       |  |   |   |   |  |
| Off Duty Deputy Services                            | 1,500.00                                   | 0.00  | 750.00  | 750.00  | (750.00)                               |
| Gate Phone  | 2,500.00                                   | 1,377.62                                    | 1,322.38  | 2,700.00  | 200.00                                 |
| <b>TOTAL PARKS &amp; RECREATION</b>                 | <b>4,000.00</b>                            | <b>1,377.62</b>                             | <b>2,072.38</b>   | <b>3,450.00</b>                                     | <b>(550.00)</b>                        |
| <b>TOTAL EXPENDITURES</b>                           | <b>\$215,224.40</b>                        | <b>\$123,785.92</b>                         | <b>\$40,442.49</b>  | <b>\$164,228.41</b>                                 | <b>(\$50,995.99)</b>                   |
| <b>EXCESS OF REVENUES OVER (UNDER) EXPENDITURES</b> | <b>\$0.00</b>                              | <b>\$86,017.87</b>                          | <b>(\$35,021.88)</b>                                      | <b>\$50,995.99</b>                                  | <b>\$50,995.99</b>                     |



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 101 WINDSOR/MANDOLIN

|   | Fiscal Year 2021 Final<br>Operating Budget | Total Actuals and<br>Projections Through<br>9/30/21 | Over/(Under) Budget<br>Through 9/30/21 | Fiscal Year 2022 Final<br>Operating Budget | Increase / (Decrease)<br>from<br>FY 2021 to FY 2022 |
|---|--|---|--|--|---|
| <b>REVENUES</b>                                     |  |   |  |  |   |
| <b>SPECIAL ASSESSMENTS</b>                          |  |   |  |  |   |
| O&M Assessments-Tax Roll                            | 215,224.40                                 | 215,224.40  | 0.00                                   | 215,224.00                                 | (0.40)  |
| <b>TOTAL SPECIAL ASSESSMENTS</b>                    | <b>215,224.40</b>                          | <b>215,224.40</b>                                   | <b>0.00</b>                            | <b>215,224.00</b>                          | <b>(0.40)</b>                                       |
| <b>OTHER MISCELLANEOUS REVENUES - W/M</b>           |  |   |  |  |   |
| Contributions Carried Forward Fund Balance          | 0.00                                       | 0.00  | 0.00                                   | 344,077.00                                 | 344,077.00  |
| <b>TOTAL OTHER MISCELLANEOUS REVENUES - W/M</b>     | <b>0.00</b>                                | <b>0.00</b>   | <b>0.00</b>                            | <b>344,077.00</b>                          | <b>344,077.00</b>                                   |
| <b>TOTAL REVENUES</b>                               | <b>\$215,224.40</b>                        | <b>\$215,224.40</b>                                 | <b>\$0.00</b>                          | <b>\$559,301.00</b>                        | <b>\$344,076.60</b>                                 |
| <b>EXPENDITURES</b>                                 |  |   |  |  |   |
| <b>ELECTRIC UTILITY SERVICES</b>                    |  |   |  |  |   |
| Electric Utility Services                           | 28,000.00                                  | 38,000.00   | 10,000.00                              | 38,000.00                                  | 10,000.00   |
| <b>TOTAL ELECTRIC UTILITY SERVICES</b>              | <b>28,000.00</b>                           | <b>38,000.00</b>                                    | <b>10,000.00</b>                       | <b>38,000.00</b>                           | <b>10,000.00</b>                                    |
| <b>WATER-SEWER COMBINATION SERVICES</b>             |  |   |  |  |   |
| Water Utility Services                              | 600.00                                     | 600.00  | 0.00                                   | 600.00                                     | 0.00  |
| <b>TOTAL WATER-SEWER COMBINATION SERVICES</b>       | <b>600.00</b>                              | <b>600.00</b>                                       | <b>0.00</b>                            | <b>600.00</b>                              | <b>0.00</b>   |
| <b>OTHER PHYSICAL ENVIRONMENT</b>                   |  |   |  |  |   |
| Storm Drain Maintenance                             | 3,500.00                                   | 3,300.00  | (200.00)                               | 3,500.00                                   | 0.00  |
| General Liability Insurance                         | 5,248.00                                   | 4,246.20  | (1,001.80)                             | 4,693.00                                   | (555.00)  |
| Plant Replacement Program                           | 13,000.00                                  | 5,500.00  | (7,500.00)                             | 13,008.00                                  | 8.00  |
| Landscape Maintenance - Contract                    | 80,000.00                                  | 36,000.00   | (44,000.00)                            | 90,000.00                                  | 10,000.00   |
| Landscape Maintenance - Other                       | 15,000.00                                  | 5,000.00  | (10,000.00)                            | 6,300.00                                   | (8,700.00)  |
| Aquatics Maintenance                                | 11,500.00                                  | 12,000.00   | 500.00                                 | 12,000.00                                  | 500.00  |
| Aquatics Maintenance - Other                        | 6,000.00                                   | 2,500.00  | (3,500.00)                             | 5,000.00                                   | (1,000.00)  |
| Irrigation Maintenance                              | 7,500.00                                   | 8,000.00  | 500.00                                 | 8,000.00                                   | 500.00  |
| Entry /Gate/ Walls Maintenance                      | 3,500.00                                   | 3,500.00  | 0.00                                   | 19,000.00                                  | 15,500.00   |
| Capital Improvements                                | 13,540.00                                  | 20,632.21   | 7,092.21                               | 94,000.00                                  | 80,460.00   |
| Pressure Washing - Common Areas                     | 6,000.00                                   | 6,000.00  | 0.00                                   | 6,000.00                                   | 0.00  |
| <b>TOTAL OTHER PHYSICAL ENVIRONMENT</b>             | <b>164,788.00</b>                          | <b>106,678.41</b>                                   | <b>(58,109.59)</b>                     | <b>261,501.00</b>                          | <b>96,713.00</b>                                    |
| <b>ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>         |  |   |  |  |   |
| Pavement & Signage Repairs                          | 3,336.40                                   | 1,000.00  | (2,336.40)                             | 233,000.00                                 | 229,663.60  |
| Sidewalk Maintenance                                | 5,000.00                                   | 4,500.00  | (500.00)                               | 12,000.00                                  | 7,000.00  |
| Decorative Light Maintenance                        | 2,000.00                                   | 3,000.00  | 1,000.00                               | 3,000.00                                   | 1,000.00  |
| Holiday Decor                                       | 7,500.00                                   | 7,000.00  | (500.00)                               | 7,000.00                                   | (500.00)  |
| <b>TOTAL ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>   | <b>17,836.40</b>                           | <b>15,500.00</b>                                    | <b>(2,336.40)</b>                      | <b>255,000.00</b>                          | <b>237,163.60</b>                                   |
| <b>PARKS &amp; RECREATION</b>                       |  |   |  |  |   |
| Off Duty Deputy Services                            | 1,500.00                                   | 750.00  | (750.00)                               | 1,500.00                                   | 0.00  |
| Gate Phone  | 2,500.00                                   | 2,700.00  | 200.00                                 | 2,700.00                                   | 200.00  |
| <b>TOTAL PARKS &amp; RECREATION</b>                 | <b>4,000.00</b>                            | <b>3,450.00</b>                                     | <b>(550.00)</b>                        | <b>4,200.00</b>                            | <b>200.00</b>                                       |
| <b>TOTAL EXPENDITURES</b>                           | <b>\$215,224.40</b>                        | <b>\$164,228.41</b>                                 | <b>(\$50,995.99)</b>                   | <b>\$559,301.00</b>                        | <b>\$344,076.60</b>                                 |
| <b>EXCESS OF REVENUES OVER (UNDER) EXPENDITURES</b> | <b>\$0.00</b>                              | <b>\$50,995.99</b>                                  | <b>\$50,995.99</b>                     | <b>\$0.00</b>                              | <b>\$0.00</b>                                       |

FISCAL YEAR 2022  
FINAL ANNUAL OPERATING BUDGET



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 100 ADMINISTRATION

|   | Fiscal Year 2021 Final<br>Operating Budget | Current Period Actuals<br>10/1/20 - 3/31/21 | Projected Revenues &<br>Expenditures<br>4/1/21 to 9/30/21 | Total Actuals and<br>Projections Through<br>9/30/21 | Over/(Under) Budget<br>Through 9/30/21 |
|---|--|---|---|---|--|
| <b>REVENUES</b>                                     |  |   |   |   |  |
| <b>SPECIAL ASSESSMENTS</b>                          |  |   |   |   |  |
| O&M Assessments-Tax Roll                            | 130,644.09                                 | 127,354.08                                  | 3,290.01  | 130,644.09  | 0.00                                   |
| <b>TOTAL SPECIAL ASSESSMENTS</b>                    | <b>130,644.09</b>                          | <b>127,354.08</b>                           | <b>3,290.01</b>   | <b>130,644.09</b>                                   | <b>0.00</b>                            |
| <b>INTEREST EARNINGS</b>                            |  |   |   |   |  |
| Interest Earnings                                   | 0.00                                       | 48.87                                       | 0.00  | 48.87   | 48.87                                  |
| <b>TOTAL INTEREST EARNINGS</b>                      | <b>0.00</b>                                | <b>48.87</b>                                | <b>0.00</b>   | <b>48.87</b>  | <b>48.87</b>                           |
| <b>OTHER MISCELLANEOUS REVENUES</b>                 |  |   |   |   |  |
| Rental Revenue                                      | 0.00                                       | 400.00                                      | 0.00  | 400.00  | 400.00                                 |
| <b>TOTAL OTHER MISCELLANEOUS REVENUES</b>           | <b>0.00</b>                                | <b>400.00</b>                               | <b>0.00</b>   | <b>400.00</b>                                       | <b>400.00</b>                          |
| <b>TOTAL REVENUES</b>                               | <b>\$130,644.09</b>                        | <b>\$127,802.95</b>                         | <b>\$3,290.01</b>   | <b>\$131,092.96</b>                                 | <b>\$448.87</b>                        |
| <b>EXPENDITURES</b>                                 |  |   |   |   |  |
| <b>LEGISLATIVE</b>                                  |  |   |   |   |  |
| Supervisor Fees                                     | 12,000.00                                  | 6,000.00                                    | 6,000.00  | 12,000.00   | 0.00                                   |
| <b>TOTAL LEGISLATIVE</b>                            | <b>12,000.00</b>                           | <b>6,000.00</b>                             | <b>6,000.00</b>   | <b>12,000.00</b>                                    | <b>0.00</b>                            |
| <b>FINANCIAL &amp; ADMINISTRATIVE</b>               |  |   |   |   |  |
| Management Services                                 | 52,000.00                                  | 32,499.98                                   | 25,500.02   | 58,000.00   | 6,000.00                               |
| District Engineer                                   | 8,500.00                                   | 17,520.00                                   | 6,480.00  | 24,000.00   | 15,500.00                              |
| Trustees Fees                                       | 7,250.00                                   | 3,852.06                                    | 3,852.07  | 7,704.13  | 454.13                                 |
| Accounting Services                                 | 31,000.00                                  | 15,500.04                                   | 15,499.96   | 31,000.00   | 0.00                                   |
| Auditing Services                                   | 7,000.00                                   | 0.00  | 7,000.00  | 7,000.00  | 0.00                                   |
| Arbitrage Rebate Calculation                        | 650.00                                     | 4,550.00                                    | 0.00  | 4,550.00  | 3,900.00                               |
| Postage and Resident Notices                        | 300.00                                     | 1,517.41                                    | 0.00  | 1,517.41  | 1,217.41                               |
| Professional Liability Insurance                    | 2,563.00                                   | 2,691.00                                    | 0.00  | 2,691.00  | 128.00                                 |
| Legal Advertising                                   | 837.09                                     | 5,265.50                                    | (0.50)  | 5,265.00  | 4,427.91                               |
| Bank Fees   | 200.00                                     | 148.29                                      | 151.71  | 300.00  | 100.00                                 |
| Dues, Licenses & Fees                               | 200.00                                     | 175.00                                      | 0.00  | 175.00  | (25.00)                                |
| Website Development & Maintenance                   | 1,500.00                                   | 750.00                                      | 750.00  | 1,500.00  | 0.00                                   |
| ADA Compliance                                      | 1,500.00                                   | 0.00  | 1,500.00  | 1,500.00  | 0.00                                   |
| <b>TOTAL FINANCIAL &amp; ADMINISTRATIVE</b>         | <b>113,500.09</b>                          | <b>84,469.28</b>                            | <b>60,733.26</b>  | <b>145,202.54</b>                                   | <b>31,702.45</b>                       |
| <b>LEGAL COUNSEL</b>                                |  |   |   |   |  |
| District Counsel                                    | 4,894.00                                   | 4,486.45                                    | 2,013.55  | 6,500.00  | 1,606.00                               |
| <b>TOTAL LEGAL COUNSEL</b>                          | <b>4,894.00</b>                            | <b>4,486.45</b>                             | <b>2,013.55</b>   | <b>6,500.00</b>                                     | <b>1,606.00</b>                        |
| <b>OTHER PHYSICAL ENVIRONMENT</b>                   |  |   |   |   |  |
| District Permit Compliance                          | 250.00                                     | 0.00  | 0.00  | 0.00  | (250.00)                               |
| <b>TOTAL OTHER PHYSICAL ENVIRONMENT</b>             | <b>250.00</b>                              | <b>0.00</b>                                 | <b>0.00</b>   | <b>0.00</b>   | <b>(250.00)</b>                        |
| <b>TOTAL EXPENDITURES</b>                           | <b>\$130,644.09</b>                        | <b>\$94,955.73</b>                          | <b>\$68,746.81</b>  | <b>\$163,702.54</b>                                 | <b>\$33,058.45</b>                     |
| <b>EXCESS OF REVENUES OVER (UNDER) EXPENDITURES</b> | <b>\$0.00</b>                              | <b>\$32,847.22</b>                          | <b>(\$65,456.80)</b>                                      | <b>(\$32,609.58)</b>                                | <b>(\$32,609.58)</b>                   |



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 100 ADMINISTRATION

|   | Fiscal Year 2021 Final<br>Operating Budget | Total Actuals and<br>Projections Through<br>9/30/21 | Over/(Under) Budget<br>Through 9/30/21 | Fiscal Year 2022 Final<br>Operating Budget | Increase / (Decrease)<br>from<br>FY 2021 to FY 2022 |
|---|--|---|--|--|---|
| <b>REVENUES</b>                                     |  |   |  |  |   |
| <b>SPECIAL ASSESSMENTS</b>                          |  |   |  |  |   |
| O&M Assessments-Tax Roll                            | 130,644.09                                 | 130,644.09  | 0.00                                   | 130,644.00                                 | (0.09)  |
| <b>TOTAL SPECIAL ASSESSMENTS</b>                    | <b>130,644.09</b>                          | <b>130,644.09</b>                                   | <b>0.00</b>                            | <b>130,644.00</b>                          | <b>(0.09)</b>                                       |
| <b>INTEREST EARNINGS</b>                            |  |   |  |  |   |
| Interest Earnings                                   | 0.00                                       | 48.87   | 48.87                                  | 0.00                                       | 0.00  |
| <b>TOTAL INTEREST EARNINGS</b>                      | <b>0.00</b>                                | <b>48.87</b>  | <b>48.87</b>                           | <b>0.00</b>                                | <b>0.00</b>   |
| <b>OTHER MISCELLANEOUS REVENUES</b>                 |  |   |  |  |   |
| Contributions Carried Forward Fund Balance          | 0.00                                       | 400.00  | 400.00                                 | 30,813.00                                  | 30,813.00   |
| <b>TOTAL OTHER MISCELLANEOUS REVENUES</b>           | <b>0.00</b>                                | <b>400.00</b>                                       | <b>400.00</b>                          | <b>30,813.00</b>                           | <b>30,813.00</b>                                    |
| <b>TOTAL REVENUES</b>                               | <b>\$130,644.09</b>                        | <b>\$131,092.96</b>                                 | <b>\$448.87</b>                        | <b>\$161,457.00</b>                        | <b>\$30,812.91</b>                                  |
| <b>EXPENDITURES</b>                                 |  |   |  |  |   |
| <b>LEGISLATIVE</b>                                  |  |   |  |  |   |
| Supervisor Fees                                     | 12,000.00                                  | 12,000.00   | 0.00                                   | 12,000.00                                  | 0.00  |
| <b>TOTAL LEGISLATIVE</b>                            | <b>12,000.00</b>                           | <b>12,000.00</b>                                    | <b>0.00</b>                            | <b>12,000.00</b>                           | <b>0.00</b>   |
| <b>FINANCIAL &amp; ADMINISTRATIVE</b>               |  |   |  |  |   |
| Management Services                                 | 52,000.00                                  | 58,000.00   | 6,000.00                               | 52,000.00                                  | 0.00  |
| District Engineer                                   | 8,500.00                                   | 24,000.00   | 15,500.00                              | 33,000.00                                  | 24,500.00   |
| Trustees Fees                                       | 7,250.00                                   | 7,704.13  | 454.13                                 | 8,000.00                                   | 750.00  |
| Accounting Services                                 | 31,000.00                                  | 31,000.00   | 0.00                                   | 31,000.00                                  | 0.00  |
| Auditing Services                                   | 7,000.00                                   | 7,000.00  | 0.00                                   | 7,200.00                                   | 200.00  |
| Arbitrage Rebate Calculation                        | 650.00                                     | 4,550.00  | 3,900.00                               | 650.00                                     | 0.00  |
| Postage and Resident Notices                        | 300.00                                     | 1,517.41  | 1,217.41                               | 300.00                                     | 0.00  |
| Professional Liability Insurance                    | 2,563.00                                   | 2,691.00  | 128.00                                 | 2,960.00                                   | 397.00  |
| Legal Advertising                                   | 837.09                                     | 5,265.00  | 4,427.91                               | 5,872.00                                   | 5,034.91  |
| Bank Fees   | 200.00                                     | 300.00  | 100.00                                 | 300.00                                     | 100.00  |
| Dues, Licenses & Fees                               | 200.00                                     | 175.00  | (25.00)                                | 175.00                                     | (25.00)   |
| Website Development & Maintenance                   | 1,500.00                                   | 1,500.00  | 0.00                                   | 1,500.00                                   | 0.00  |
| ADA Compliance                                      | 1,500.00                                   | 1,500.00  | 0.00                                   | 1,500.00                                   | 0.00  |
| <b>TOTAL FINANCIAL &amp; ADMINISTRATIVE</b>         | <b>113,500.09</b>                          | <b>145,202.54</b>                                   | <b>31,702.45</b>                       | <b>144,457.00</b>                          | <b>30,956.91</b>                                    |
| <b>LEGAL COUNSEL</b>                                |  |   |  |  |   |
| District Counsel                                    | 4,894.00                                   | 6,500.00  | 1,606.00                               | 4,000.00                                   | (894.00)  |
| <b>TOTAL LEGAL COUNSEL</b>                          | <b>4,894.00</b>                            | <b>6,500.00</b>                                     | <b>1,606.00</b>                        | <b>5,000.00</b>                            | <b>(894.00)</b>                                     |
| <b>OTHER PHYSICAL ENVIRONMENT</b>                   |  |   |  |  |   |
| District Permit Compliance                          | 250.00                                     | 0.00  | (250.00)                               | 0.00                                       | (250.00)  |
| <b>TOTAL OTHER PHYSICAL ENVIRONMENT</b>             | <b>250.00</b>                              | <b>0.00</b>   | <b>(250.00)</b>                        | <b>0.00</b>                                | <b>(250.00)</b>                                     |
| <b>TOTAL EXPENDITURES</b>                           | <b>\$130,644.09</b>                        | <b>\$163,702.54</b>                                 | <b>\$33,058.45</b>                     | <b>\$161,457.00</b>                        | <b>\$29,812.91</b>                                  |
| <b>EXCESS OF REVENUES OVER (UNDER) EXPENDITURES</b> | <b>\$0.00</b>                              | <b>(\$32,609.58)</b>                                | <b>(\$32,609.58)</b>                   | <b>\$0.00</b>                              | <b>\$1,000.00</b>                                   |

FISCAL YEAR 2022  
FINAL ANNUAL OPERATING BUDGET



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 102 HIGHLAND PARK

|   | Fiscal Year 2021 Final<br>Operating Budget | Current Period Actuals<br>10/1/20 - 3/31/21 | Projected Revenues &<br>Expenditures<br>4/1/21 to 9/30/21 | Total Actuals and<br>Projections Through<br>9/30/21 | Over/(Under) Budget<br>Through 9/30/21 |
|---|--|---|---|---|--|
| <b>REVENUES</b>                                     |  |   |   |   |  |
| <b>SPECIAL ASSESSMENTS</b>                          |  |   |   |   |  |
| O&M Assessments-Tax Roll                            | 288,518.75                                 | 283,420.62                                  | 5,098.13  | 288,518.75  | 0.00                                   |
| <b>TOTAL SPECIAL ASSESSMENTS</b>                    | <b>288,518.75</b>                          | <b>283,420.62</b>                           | <b>5,098.13</b>   | <b>288,518.75</b>                                   | <b>0.00</b>                            |
| <b>TOTAL REVENUES</b>                               | <b>\$288,518.75</b>                        | <b>\$283,420.62</b>                         | <b>\$5,098.13</b>   | <b>\$288,518.75</b>                                 | <b>\$0.00</b>                          |
| <b>EXPENDITURES</b>                                 |  |   |   |   |  |
| <b>ELECTRIC UTILITY SERVICES</b>                    |  |   |   |   |  |
| Electric Utility Services                           | 4,000.00                                   | 2,471.98                                    | 2,528.02  | 5,000.00  | 1,000.00                               |
| <b>TOTAL ELECTRIC UTILITY SERVICES</b>              | <b>4,000.00</b>                            | <b>2,471.98</b>                             | <b>2,528.02</b>   | <b>5,000.00</b>                                     | <b>1,000.00</b>                        |
| <b>WATER-SEWER COMBINATION SERVICES</b>             |  |   |   |   |  |
| Water Utility Services                              | 5,400.00                                   | 2,962.19                                    | 2,937.81  | 5,900.00  | 500.00                                 |
| <b>TOTAL WATER-SEWER COMBINATION SERVICES</b>       | <b>5,400.00</b>                            | <b>2,962.19</b>                             | <b>2,937.81</b>   | <b>5,900.00</b>                                     | <b>500.00</b>                          |
| <b>OTHER PHYSICAL ENVIRONMENT</b>                   |  |   |   |   |  |
| Storm Drain Maintenance                             | 5,000.00                                   | 1,950.00                                    | 1,050.00  | 3,000.00  | (2,000.00)                             |
| General Liability Insurance                         | 3,516.00                                   | 2,830.80                                    | (0.80)  | 2,830.00  | (686.00)                               |
| Plant Replacement Program                           | 12,000.00                                  | 2,817.32                                    | 2,182.68  | 5,000.00  | (7,000.00)                             |
| Plant Replacement Program - Racetrack Road          | 8,500.00                                   | 4,185.00                                    | 1,815.00  | 6,000.00  | (2,500.00)                             |
| Aquatics Maintenance                                | 17,000.00                                  | 9,720.00                                    | 9,780.00  | 19,500.00   | 2,500.00                               |
| Aquatics Maintenance - Other                        | 8,000.00                                   | 0.00  | 2,000.00  | 2,000.00  | (6,000.00)                             |
| Landscape Maintenance - Highland Park Contract      | 110,000.00                                 | 40,019.64                                   | 39,980.36   | 80,000.00   | (30,000.00)                            |
| Landscape Maintenance - Racetrack Road Contract     | 3,500.00                                   | 8,386.86                                    | 8,613.14  | 17,000.00   | 13,500.00                              |
| Irrigation Maintenance                              | 15,000.00                                  | 7,949.04                                    | 5,050.96  | 13,000.00   | (2,000.00)                             |
| Entry & Walls Maintenance                           | 1,500.00                                   | 0.00  | 750.00  | 750.00  | (750.00)                               |
| Miscellaneous Repairs & Maintenance                 | 3,000.00                                   | 359.86                                      | 840.14  | 1,200.00  | (1,800.00)                             |
| Pressure Washing - Common Areas                     | 7,500.00                                   | 6,712.50                                    | 0.00  | 6,712.50  | (787.50)                               |
| <b>TOTAL OTHER PHYSICAL ENVIRONMENT</b>             | <b>194,516.00</b>                          | <b>84,931.02</b>                            | <b>72,061.48</b>  | <b>156,992.50</b>                                   | <b>(37,523.50)</b>                     |
| <b>ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>         |  |   |   |   |  |
| Pavement & Signage Repairs                          | 2,000.00                                   | 11,242.68                                   | 0.00  | 11,242.68   | 9,242.68                               |
| Sidewalk Maintenance                                | 2,500.00                                   | 3,600.00                                    | 1,400.00  | 5,000.00  | 2,500.00                               |
| Street Light Maintenance                            | 3,500.00                                   | 1,752.18                                    | 1,747.82  | 3,500.00  | 0.00                                   |
| Decorative Light Maintenance                        | 2,000.00                                   | 3,177.75                                    | 1,822.25  | 5,000.00  | 3,000.00                               |
| Holiday Decor                                       | 15,000.00                                  | 9,375.00                                    | 0.00  | 9,375.00  | (5,625.00)                             |
| <b>TOTAL ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>   | <b>25,000.00</b>                           | <b>29,147.61</b>                            | <b>4,970.07</b>   | <b>34,117.68</b>                                    | <b>9,117.68</b>                        |
| <b>PARKS &amp; RECREATION</b>                       |  |   |   |   |  |
| Off Duty Deputy Services                            | 1,000.00                                   | 0.00  | 750.00  | 750.00  | (250.00)                               |
| Fountain Maintenance                                | 2,000.00                                   | 2,289.94                                    | 1,610.06  | 3,900.00  | 1,900.00                               |
| Park Facility Janitorial Maintenance Contracted     | 2,600.00                                   | 1,582.50                                    | 1,517.50  | 3,100.00  | 500.00                                 |
| Park Facility Maintenance and Improvement           | 1,000.00                                   | 1,199.43                                    | 1,800.57  | 3,000.00  | 2,000.00                               |
| <b>TOTAL PARKS &amp; RECREATION</b>                 | <b>6,600.00</b>                            | <b>5,071.87</b>                             | <b>5,678.13</b>   | <b>10,750.00</b>                                    | <b>4,150.00</b>                        |
| <b>RESERVES</b>                                     |  |   |   |   |  |
| Transfer to Operating Reserve                       | 31,070.61                                  | 0.00  | 31,070.61   | 31,070.61   | 0.00                                   |
| Transfer to Capital Reserves                        | 21,932.14                                  | 0.00  | 21,832.14   | 21,832.14   | (100.00)                               |
| <b>TOTAL RESERVES</b>                               | <b>53,002.75</b>                           | <b>0.00</b>                                 | <b>52,902.75</b>  | <b>52,902.75</b>                                    | <b>(100.00)</b>                        |
| <b>TOTAL EXPENDITURES</b>                           | <b>\$288,518.75</b>                        | <b>\$124,584.67</b>                         | <b>\$141,078.26</b>                                       | <b>\$265,662.93</b>                                 | <b>(\$22,855.82)</b>                   |
| <b>EXCESS OF REVENUES OVER (UNDER) EXPENDITURES</b> | <b>\$0.00</b>                              | <b>\$158,835.95</b>                         | <b>(\$135,980.13)</b>                                     | <b>\$22,855.82</b>                                  | <b>\$22,855.82</b>                     |

## FISCAL YEAR 2021 BUDGET ANALYSIS



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 102 HIGHLAND PARK

|   | Fiscal Year 2021 Final<br>Operating Budget | Total Actuals and<br>Projections Through<br>9/30/21 | Over/(Under) Budget<br>Through 9/30/21 | Fiscal Year 2022 Final<br>Operating Budget | Increase / (Decrease)<br>from<br>FY 2021 to FY 2022 |
|---|--|---|--|--|---|
| <b>REVENUES</b>                                     |  |   |  |  |   |
| <b>SPECIAL ASSESSMENTS</b>                          |  |   |  |  |   |
| O&M Assessments-Tax Roll                            | 288,518.75                                 | 288,518.75  | 0.00                                   | 288,519.00                                 | 0.25  |
| <b>TOTAL SPECIAL ASSESSMENTS</b>                    | <b>288,518.75</b>                          | <b>288,518.75</b>                                   | <b>0.00</b>                            | <b>288,519.00</b>                          | <b>0.25</b>   |
| <b>OTHER MISCELLANEOUS REVENUES - H/P</b>           |  |   |  |  |   |
| Contributions Carried Forward Fund Balance          | 0.00                                       | 0.00  | 0.00                                   | 142,883.00                                 | 142,883.00  |
| <b>TOTAL OTHER MISCELLANEOUS REVENUES - H/P</b>     | <b>0.00</b>                                | <b>0.00</b>   | <b>0.00</b>                            | <b>142,883.00</b>                          | <b>142,883.00</b>                                   |
| <b>TOTAL REVENUES</b>                               | <b>\$288,518.75</b>                        | <b>\$288,518.75</b>                                 | <b>\$0.00</b>                          | <b>\$431,402.00</b>                        | <b>\$142,883.25</b>                                 |
| <b>EXPENDITURES</b>                                 |  |   |  |  |   |
| <b>ELECTRIC UTILITY SERVICES</b>                    |  |   |  |  |   |
| Electric Utility Services                           | 4,000.00                                   | 5,000.00  | 1,000.00                               | 5,000.00                                   | 1,000.00  |
| <b>TOTAL ELECTRIC UTILITY SERVICES</b>              | <b>4,000.00</b>                            | <b>5,000.00</b>                                     | <b>1,000.00</b>                        | <b>5,000.00</b>                            | <b>1,000.00</b>                                     |
| <b>WATER-SEWER COMBINATION SERVICES</b>             |  |   |  |  |   |
| Water Utility Services                              | 5,400.00                                   | 5,900.00  | 500.00                                 | 5,900.00                                   | 500.00  |
| <b>TOTAL WATER-SEWER COMBINATION SERVICES</b>       | <b>5,400.00</b>                            | <b>5,900.00</b>                                     | <b>500.00</b>                          | <b>5,900.00</b>                            | <b>500.00</b>                                       |
| <b>OTHER PHYSICAL ENVIRONMENT</b>                   |  |   |  |  |   |
| Storm Drain Maintenance                             | 5,000.00                                   | 3,000.00  | (2,000.00)                             | 5,000.00                                   | 0.00  |
| General Liability Insurance                         | 3,516.00                                   | 2,830.00  | (686.00)                               | 6,083.00                                   | 2,567.00  |
| Plant Replacement Program                           | 12,000.00                                  | 5,000.00  | (7,000.00)                             | 10,000.00                                  | (2,000.00)  |
| Plant Replacement Program - Racetrack Road          | 8,500.00                                   | 6,000.00  | (2,500.00)                             | 8,500.00                                   | 0.00  |
| Aquatics Maintenance                                | 17,000.00                                  | 19,500.00   | 2,500.00                               | 19,500.00                                  | 2,500.00  |
| Aquatics Maintenance - Other                        | 8,000.00                                   | 2,000.00  | (6,000.00)                             | 6,000.00                                   | (2,000.00)  |
| Landscape Maintenance - Highland Park Contract      | 110,000.00                                 | 80,000.00   | (30,000.00)                            | 83,050.00                                  | (26,950.00)   |
| Landscape Maintenance - Racetrack Road Contract     | 3,500.00                                   | 17,000.00   | 13,500.00                              | 17,000.00                                  | 13,500.00   |
| Irrigation Maintenance                              | 15,000.00                                  | 13,000.00   | (2,000.00)                             | 15,000.00                                  | 0.00  |
| Entry & Walls Maintenance                           | 1,500.00                                   | 750.00  | (750.00)                               | 1,500.00                                   | 0.00  |
| Miscellaneous Repairs & Maintenance                 | 3,000.00                                   | 1,200.00  | (1,800.00)                             | 3,000.00                                   | 0.00  |
| Pressure Washing - Common Areas                     | 7,500.00                                   | 6,712.50  | (787.50)                               | 7,500.00                                   | 0.00  |
| <b>TOTAL OTHER PHYSICAL ENVIRONMENT</b>             | <b>194,516.00</b>                          | <b>156,992.50</b>                                   | <b>(37,523.50)</b>                     | <b>182,133.00</b>                          | <b>(12,383.00)</b>                                  |
| <b>ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>         |  |   |  |  |   |
| Pavement & Signage Repairs                          | 2,000.00                                   | 11,242.68   | 9,242.68                               | 145,000.00                                 | 143,000.00  |
| Sidewalk Maintenance                                | 2,500.00                                   | 5,000.00  | 2,500.00                               | 6,000.00                                   | 3,500.00  |
| Street Light Maintenance                            | 3,500.00                                   | 3,500.00  | 0.00                                   | 4,500.00                                   | 1,000.00  |
| Decorative Light Maintenance                        | 2,000.00                                   | 5,000.00  | 3,000.00                               | 5,000.00                                   | 3,000.00  |
| Holiday Decor                                       | 15,000.00                                  | 9,375.00  | (5,625.00)                             | 15,000.00                                  | 0.00  |
| <b>TOTAL ROADWAY, SIGNAGE &amp; STREET LIGHTS</b>   | <b>25,000.00</b>                           | <b>34,117.68</b>                                    | <b>9,117.68</b>                        | <b>175,500.00</b>                          | <b>150,500.00</b>                                   |
| <b>PARKS &amp; RECREATION</b>                       |  |   |  |  |   |
| Off Duty Deputy Services                            | 1,000.00                                   | 750.00  | (250.00)                               | 1,500.00                                   | 500.00  |
| Fountain Maintenance                                | 2,000.00                                   | 3,900.00  | 1,900.00                               | 3,500.00                                   | 1,500.00  |
| Park Facility Janitorial Maintenance Contracted     | 2,600.00                                   | 3,100.00  | 500.00                                 | 3,100.00                                   | 500.00  |
| Park Facility Maintenance and Improvement           | 1,000.00                                   | 3,000.00  | 2,000.00                               | 1,867.00                                   | 867.00  |
| <b>TOTAL PARKS &amp; RECREATION</b>                 | <b>6,600.00</b>                            | <b>10,750.00</b>                                    | <b>4,150.00</b>                        | <b>9,967.00</b>                            | <b>3,367.00</b>                                     |
| <b>RESERVES</b>                                     |  |   |  |  |   |
| Transfer to Operating Reserve                       | 31,070.61                                  | 31,070.61   | 0.00                                   | 31,070.00                                  | (0.61)  |
| Transfer to Capital Reserves                        | 21,932.14                                  | 21,832.14   | (100.00)                               | 21,832.00                                  | (100.14)  |
| <b>TOTAL RESERVES</b>                               | <b>53,002.75</b>                           | <b>52,902.75</b>                                    | <b>(100.00)</b>                        | <b>52,902.00</b>                           | <b>(100.75)</b>                                     |
| <b>TOTAL EXPENDITURES</b>                           | <b>\$288,518.75</b>                        | <b>\$265,662.93</b>                                 | <b>(\$22,855.82)</b>                   | <b>\$431,402.00</b>                        | <b>\$142,883.25</b>                                 |
| <b>EXCESS OF REVENUES OVER (UNDER) EXPENDITURES</b> | <b>\$0.00</b>                              | <b>\$22,855.82</b>                                  | <b>\$22,855.82</b>                     | <b>\$0.00</b>                              | <b>\$0.00</b>                                       |

FISCAL YEAR 2022  
FINAL ANNUAL OPERATING BUDGET



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 100

#### Financial & Administrative

##### Management Services

The services encompassed in this category include District Management, Recording Secretary, Field Administration, and Rentals and Leases. Management Services provide for daily administration of District business. In addition, the District Manager prepares the Annual Budget(s), implements all policies of the Board of Supervisors, and attends all meetings of the Board of Supervisors. Recording Secretary services provide for preparation and recording the minutes of the official district records of proceeding. Field Administrative Services provide for assisting the general public with day-to-day service calls, questions, and comments that are considered part of the District's obligation in providing responsive and quality customer services to the general public. Technology Services provide for; 1. Maintaining operating components and systems in compliance with governmental accounting standards. 2. Rentals and Leases provide for required storage of official District records.

##### District Engineer

Consists of attendance at scheduled meetings of the Board of Supervisors, offering advice and consultation on all matters related to the works of the District, such as bids for yearly contracts, operating policy, compliance with

##### Disclosure Report

This is required of the District as part of the bond indentures.

##### Trustee Fees

This is required of the District as part of the bond indentures.

##### Auditing Services

The District is required to annually undertake an independent examination of its books, records and accounting procedures. This audit is conducted pursuant to State Law and the Rules of the Auditor General.

##### Arbitrage Rebate Calculation

This is required of the District as part of the bond indentures.

##### Financial Services

As part of the management contract, the District retains Financial and Accounting Services to oversee and manage cash inflows and outflows, record the District's financial transactions in compliance with governmental accounting standards, prepare the annual tax roll for the County, provide financial statements and schedules, coordinate the annual independent audit, prepare and submit necessary IRS forms and documentation, prepare

##### Postage, Phone, Faxes, Copies

Cost of materials and service to produce agendas and conduct day-to-day business of the District.

##### Professional Liability Insurance

The District carries Public Officials Liability in the amount of \$1,000,000.

##### Legal Advertising

This is required to conduct the official business of the District in accordance with the Sunshine Law and other advertisement requirements as indicated by the Florida Statutes.

##### Bank Fees

The District operates a checking account for expenditures and receipts.

##### Dues, Licenses & Fees

The District is required to file with the County and State each year

##### Miscellaneous Fees

This is to aid in unforeseen issues.

## FISCAL YEAR 2022

### FINAL ANNUAL OPERATING BUDGET



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 100

#### **Office Supplies**

Cost of daily supplies required by the District to facilitate operations.

#### **Website Development & Maintenance**

This is for maintenance and administration of the District's official website.

#### **Capital Outlay**

This is to fund new items as required.

#### **Legal Counsel**

##### **District Counsel**

Requirements for legal services are estimated annual expenditures on an as needed basis and also cover such items as attendance at scheduled meetings of the Board of Supervisor's, contract preparation and review, etc.

#### **Operating Reserves**

##### **Reserves for Contingencies**

This item allows for the funding of unforeseen expenditures which could be needed to supplement other budgeted line items as the need arises.



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 101

#### Electric Utility Services

##### Electric Utility Services - Entry

This item is for electricity services for irrigation well pump, street lights, aesthetic uplighting, sidewalks and other common areas.

#### Other Physical Environment

##### Storm Drain Maintenance

This item is for maintaining the storm drain structures that require yearly upkeep and occasional repair.

##### General Liability Insurance

The District carries \$1,000,000 in general liability and also has sovereign immunity.

##### Landscape Maintenance - Contract

The District contracts with a professional landscape firm to provide service through a public bid process. This fee does not include replacement material or irrigation repairs.

##### Landscape Maintenance - Other

This item is for any unforeseen circumstances that may effect the appearance of the landscape program.

##### Plant Replacement Program

This item is for landscape items that may need to be replaced during the year as certain material extends its useful life expectancy.

##### Irrigation Maintenance

Repairs necessary for everyday operation of the irrigation system to ensure its effectiveness. This item also cover repairs to the Districts wells and electrical components.

##### Entry & Walls Maintenance

This item is for maintaining the main entry feature and other common area walls.

#### Road & Street Facilities

##### Decorative Light Maintenance

This item provides for maintenance and repairs of the street lights and decorative lighting throughout the District.

##### Sidewalk Maintenance

This item is for maintenance of the District owned sidewalk system.

##### Pavement and Signage Repairs

This item provides for maintenance and repairs of the signage throughout the District.

##### Street Sweeping

This item provides for cleaning of the District roadways.

#### Reserves

##### Capital Reserves

This item creates a fund for capital improvements relating to the District's parks and recreational areas.

##### Operational Reserves

This item is intended develop ample reserves at the end of the fiscal year to allow the District to operate until the property taxes come in.

**FISCAL YEAR 2022**  
**FINAL ANNUAL OPERATING BUDGET**



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 102

#### Electric Utility Services

##### Electric Utility Services

This item is for street lights, irrigation pumps and other common electricity needs.

#### Garbage/Solid Waste Control Services

##### Garbage Collection

This item is for pick up at the recreation facility and parks as needed.

#### Water-Sewer Combination Services

##### Water Utility Services

This item is for the potable and non-potable water used for irrigation, recreation facility and the pool.

##### Water Utility Services - Capital Outlay

Improvements to water services including connections to reclaimed water for irrigation.

#### Other Physical Environment

##### Storm Drain Maintenance

This item is for maintaining the storm drain structures that require yearly upkeep and occasional repair.

##### General Liability Insurance

The District carries \$1,000,000 in general liability and also has sovereign immunity.

##### Landscape Maintenance - Contract

The District contracts with a professional landscape firm to provide service through a public bid process. This fee does not include replacement material or irrigation repairs.

##### Landscape Maintenance - Other

This item is for additional maintenance costs such as removal of dead vegetation or tree trimming .

##### Landscape Maintenance - Consulting

This item is for maintaining the supervision and inspections provided by OLM.

##### Landscape Maintenance - Race Track

This item is for maintaining Race Track Rd. ROW .

##### Plant Replacement Program

This item is for landscape items that may need to be replaced during the year as certain material extends its useful life expectancy.

##### Irrigation Maintenance

Repairs necessary for everyday operation of and supply to the irrigation system to ensure its effectiveness. This item also cover repairs to the Districts wells and electrical components.

##### Entry & Walls Maintenance

This item is for maintaining the main entry feature and other common area walls.

#### Roadway, Signage & Streetlight

##### Street Sweeping

This item is for sweeping the streets.

##### Pavement Repairs

This item is for miscellaneous repairs to the roadways and pavers as needed.

##### Signage Maintenance

This item is intended for repairing the Districts street signage.

## FISCAL YEAR 2022

### FINAL ANNUAL OPERATING BUDGET



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 102

#### **Street Light Maintenance**

This is for the maintenance of the ornamental street lights.

#### **Decorative Light Maintenance**

This item is for the repairs and maintenance to up-lighting enhancements within the development and at entrances.

#### **Parks & Recreation**

##### **Fountain Maintenance**

This item is for maintaining the decorative fountains.

##### **Park Facility Maintenance**

This item is for repairs to the tennis courts, volleyball courts and other park infrastructure.

#### **Reserves**

##### **Capital Reserves**

This item creates a fund for capital improvements relating to the District's parks and recreational areas.

##### **Operational Reserves**

This item is intended develop ample reserves at the end of the fiscal year to allow the District to operate until property taxes come in.



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 103

#### **Electric Utility Services**

##### **Electric Utility Services**

This item is for street lights, irrigation pumps and other common electricity needs.

#### **Water-Sewer Combination Services**

##### **Water Utility Services**

This item is for the potable and non-potable water used for irrigation, recreation facility and the pool.

#### **Other Physical Environment**

##### **Storm Drain Maintenance**

This item is for maintaining the storm drain structures that require yearly upkeep and occasional repair.

##### **General Liability Insurance**

The District carries \$1,000,000 in general liability and also has sovereign immunity.

##### **Landscape Maintenance - Contract**

The District contracts with a professional landscape firm to provide service through a public bid process. This fee does not include replacement material or irrigation repairs.

##### **Landscape Maintenance - Other**

This item is for additional maintenance costs such as removal of dead vegetation or tree trimming .

##### **Landscape Maintenance - Consulting**

This item is for maintaining the supervision and inspections provided by OLM.

##### **Landscape Maintenance - Race Track**

This item is for maintaining the Race Track Rd. ROW.

##### **Plant Replacement Program**

This item is for landscape items that may need to be replaced during the year as certain material extends its useful life expectancy.

##### **Irrigation Maintenance**

Repairs necessary for everyday operation of and supply to the irrigation system to ensure its effectiveness. This item also cover repairs to the Districts wells and electrical components.

##### **Entry & Walls Maintenance**

This item is for maintaining the main entry feature and other common area walls.

#### **Roadway, Signage & Streetlight**

##### **Street Sweeping**

This item is for sweeping the streets.

##### **Pavement Repairs**

This item is for miscellaneous repairs to the roadways and pavers as needed.

##### **Signage Maintenance**

This item is intended for repairing the Districts street signage.

##### **Street Light Maintenance**

This is for the maintenance of the ornamental street lights.



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### GENERAL FUND 103

#### **Decorative Light Maintenance**

This item is for the repairs and maintenance to up-lighting enhancements within the development and at

#### **Fountain Maintenance**

This item is for maintaining the decorative fountains.

#### **Park Facility Maintenance**

This item is for repairs to the tennis courts, volleyball courts and other park infrastructure.

#### **Reserves**

##### **Capital Reserves**

This item creates a fund for capital improvements relating to the District's parks and recreational areas.

##### **Operational Reserves**

This item is intended develop ample reserves at the end of the fiscal year to allow the District to operate until property taxes come in.



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### DEBT SERVICE FUND

#### SERIES 2021-1 - WINDSOR/MANDOLIN

##### REVENUES

|                              |    |         |
|------------------------------|----|---------|
| CDD Debt Service Assessments | \$ | 269,640 |
|------------------------------|----|---------|

|                       |           |                |
|-----------------------|-----------|----------------|
| <b>TOTAL REVENUES</b> | <b>\$</b> | <b>269,640</b> |
|-----------------------|-----------|----------------|

##### EXPENDITURES

|  |    |         |
|--|----|---------|
| Series 2021-1 May Bond Principal Payment | \$ | 218,000 |
|--|----|---------|

|   |    |        |
|---|----|--------|
| Series 2021-1 May Bond Interest Payment | \$ | 26,937 |
|---|----|--------|

|  |    |        |
|--|----|--------|
| Series 2021-1 November Bond Interest Payment | \$ | 24,703 |
|--|----|--------|

|                           |           |                |
|---------------------------|-----------|----------------|
| <b>TOTAL EXPENDITURES</b> | <b>\$</b> | <b>269,640</b> |
|---------------------------|-----------|----------------|

|   |           |          |
|---|-----------|----------|
| <b>EXCESS OF REVENUES OVER EXPENDITURES</b> | <b>\$</b> | <b>-</b> |
|---|-----------|----------|

##### ANALYSIS OF BONDS OUTSTANDING

|   |    |           |
|---|----|-----------|
| Bonds Outstanding - Period Ending 11/1/2021 | \$ | 2,628,000 |
|---|----|-----------|

|  |    |         |
|--|----|---------|
| Principal Payment Applied Toward Series 2021-1 Bonds | \$ | 218,000 |
|--|----|---------|

|  |           |                  |
|--|-----------|------------------|
| <b>Bonds Outstanding - Period Ending 11/1/2022</b> | <b>\$</b> | <b>2,410,000</b> |
|--|-----------|------------------|



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### DEBT SERVICE FUND

#### SERIES 2021-2 - HIGHLAND PARK

#### REVENUES

|                              |           |                |
|------------------------------|-----------|----------------|
| CDD Debt Service Assessments | \$        | 324,970        |
| <b>TOTAL REVENUES</b>        | <b>\$</b> | <b>324,970</b> |

#### EXPENDITURES

|  |           |                |
|--|-----------|----------------|
| Series 2021-2 May Bond Principal Payment     | \$        | 248,000        |
| Series 2021-2 May Bond Interest Payment      | \$        | 39,818         |
| Series 2021-2 November Bond Interest Payment | \$        | 37,152         |
| <b>TOTAL EXPENDITURES</b>                    | <b>\$</b> | <b>324,970</b> |
| <b>EXCESS OF REVENUES OVER EXPENDITURES</b>  | <b>\$</b> | <b>-</b>       |

#### ANALYSIS OF BONDS OUTSTANDING

|  |           |                  |
|--|-----------|------------------|
| Bonds Outstanding - Period Ending 11/1/2021          | \$        | 3,704,000        |
| Principal Payment Applied Toward Series 2021-2 Bonds | \$        | 248,000          |
| <b>Bonds Outstanding - Period Ending 11/1/2022</b>   | <b>\$</b> | <b>3,456,000</b> |



# PARK PLACE

## COMMUNITY DEVELOPMENT DISTRICT

### SCHEDULE OF ANNUAL ASSESSMENTS<sup>(1)</sup>

| Lot Size                         | ERU Factor | Lot Count | Total ERU's | Debt Service - Series 2021-1 | Debt Service - Series 2021-2 | General Fund 100 | General Fund 101 | General Fund 102 | General Fund 103 | Fiscal Year 2022 Total | Fiscal Year 2021 Total | Total Inc/(Dec) in Annual Assmt <sup>(2)</sup> |
|----------------------------------|------------|-----------|-------------|------------------------------|------------------------------|------------------|------------------|------------------|------------------|------------------------|------------------------|--|
| <b>Mandolin<sup>1</sup></b>      |            |           |             |                              |                              |                  |                  |                  |                  |                        |                        |  |
| Single Family 50'                | 1.00       | 101       | 176.75      | \$892.39                     | \$0.00                       | \$220.23         | \$830.81         | \$0.00           | \$0.00           | <b>\$1,943.43</b>      | \$1,678.74             | <b>\$264.69</b>                                |
| Single Family 60'                | 1.20       | 108       | 216         | \$1,019.87                   | \$0.00                       | \$220.23         | \$830.81         | \$0.00           | \$0.00           | <b>\$2,070.91</b>      | \$1,768.40             | <b>\$302.51</b>                                |
| <b>Windsor<sup>1</sup></b>       |            |           |             |                              |                              |                  |                  |                  |                  |                        |                        |  |
| Townhome                         | 0.37       | 182       | 182         | \$509.94                     | \$0.00                       | \$73.85          | \$331.32         | \$0.00           | \$0.00           | <b>\$915.11</b>        | \$763.86               | <b>\$151.25</b>                                |
| <b>Highland Park<sup>1</sup></b> |            |           |             |                              |                              |                  |                  |                  |                  |                        |                        |  |
| Townhome 22'                     | 0.44       | 40        | 17.6        | \$0.00                       | \$725.70                     | \$191.72         | \$0.00           | \$901.26         | \$0.00           | <b>\$1,818.68</b>      | \$1,818.68             | <b>\$0.00</b>                                  |
| Townhome 25'/26'                 | 0.52       | 60        | 31.2        | \$0.00                       | \$742.28                     | \$191.72         | \$0.00           | \$904.51         | \$0.00           | <b>\$1,838.50</b>      | \$1,838.50             | <b>\$0.00</b>                                  |
| Townhome 28'                     | 0.56       | 25        | 14          | \$0.00                       | \$783.75                     | \$191.72         | \$0.00           | \$912.61         | \$0.00           | <b>\$1,888.08</b>      | \$1,888.08             | <b>\$0.00</b>                                  |
| Single Family 40'                | 0.80       | 58        | 46.4        | \$0.00                       | \$825.22                     | \$191.72         | \$0.00           | \$920.71         | \$0.00           | <b>\$1,937.65</b>      | \$1,937.65             | <b>\$0.00</b>                                  |
| Single Family 50'                | 1.00       | 44        | 44          | \$0.00                       | \$1,030.90                   | \$191.72         | \$0.00           | \$960.92         | \$0.00           | <b>\$2,183.54</b>      | \$2,183.54             | <b>\$0.00</b>                                  |
| Single Family 70'                | 1.40       | 54        | 75.6        | \$0.00                       | \$1,443.93                   | \$191.72         | \$0.00           | \$1,041.64       | \$0.00           | <b>\$2,677.29</b>      | \$2,677.29             | <b>\$0.00</b>                                  |
| Single Family 80'                | 1.60       | 29        | 46.4        | \$0.00                       | \$1,650.44                   | \$191.72         | \$0.00           | \$1,082.01       | \$0.00           | <b>\$2,924.16</b>      | \$2,924.16             | <b>\$0.00</b>                                  |
| Single Family 90'                | 1.80       | 5         | 9           | \$0.00                       | \$1,856.12                   | \$191.72         | \$0.00           | \$1,122.21       | \$0.00           | <b>\$3,170.05</b>      | \$3,170.05             | <b>\$0.00</b>                                  |
| Single Family 150'               | 3.00       | 9         | 27          | \$0.00                       | \$2,681.31                   | \$191.72         | \$0.00           | \$1,283.53       | \$0.00           | <b>\$4,156.56</b>      | \$4,156.56             | <b>\$0.00</b>                                  |
| <b>Mixed Use<sup>1</sup></b>     |            |           |             |                              |                              |                  |                  |                  |                  |                        |                        |  |
| Apartments                       | 0.35       | 239       | 83.65       | \$0.00                       | \$0.00                       | \$69.34          | \$0.00           | \$0.00           | \$276.76         | <b>\$346.10</b>        | \$346.10               | <b>\$0.00</b>                                  |
| School                           | 1.00       | 10        | 10          | \$0.00                       | \$1,237.42                   | \$72.47          | \$0.00           | \$241.85         | \$353.72         | <b>\$1,905.46</b>      | \$1,905.46             | <b>\$0.00</b>                                  |
| Commercial                       | 3.00       | 5.2       | 15.6        | \$0.00                       | \$0.00                       | \$600.42         | \$0.00           | \$0.00           | \$2,372.25       | <b>\$2,972.67</b>      | \$2,972.67             | <b>\$0.00</b>                                  |

**Notations:**

<sup>(1)</sup> Annual assessments are adjusted for the County collection costs and Statutory early payment discounts

<sup>(2)</sup> An increase in assessments creates a positive figure; conversely, a decrease in assessments creates a negative figure

## FISCAL YEAR 2022

### PROPOSED ANNUAL OPERATING BUDGET



# PARK PLACE COMMUNITY DEVELOPMENT DISTRICT

October 19, 2022, Minutes of Regular Meeting

## MINUTES OF THE REGULAR MEETING

The Regular Meeting of the Board of Supervisors for Park Place Community Development District was held on **Wednesday, October 19, 2022, at 11:00 a.m. at the Lake House located at 11740 Casa Lago Lane, Tampa, FL 33626.**

### 1. CALL TO ORDER/ROLL CALL

Brian Howell called the Regular Meeting of the Board of Supervisors of the Park Place Community Development District to order on **Wednesday, October 19, 2022, at 11:00 a.m.**

#### Board Members Present and Constituting a Quorum:

|                      |            |
|----------------------|------------|
| Cathy Kinser- Powell | Vice-Chair |
| Andrea Jackson       | Supervisor |
| Erica Lavina         | Supervisor |

#### Staff Members Present:

|                |  |
|----------------|--|
| Angie Grunwald | District Manager, Inframark            |
| Phil Chang     | District Engineer, Johnson Engineering |

There were three (3) resident audience members in attendance.

Bill Berra  
Eric  
Lyn Gonzalez

### 2. PUBLIC COMMENT ON AGENDA ITEMS

There were no comments regarding the agenda.

### 3. VENDOR/STAFF REPORTS

#### A. District Engineer

Mr. Chang reports address the following.

The property at 11611 Greensleve Ave, owner Ben Johnson stated the tree that is lifting on the curb is causing water to pool. The homeowner is responsible for some of the repairs on his property and CDD will cover others on street and sidewalk. The quote to repair is \$5,710 and the Board approved the work if the homeowner installs a root barrier. A recent update by homeowner states he is refusing to install a root barrier. The Board wants manager to contact district attorney to verify who is responsible for repairs.

The resident located at 11719 Gothic Lane, owner Craig Verville expressed concerns of milling and the CDD had the concrete v-curb repoured three times. Mr. Chang is not sure what else we



can do to make the homeowner happy. Ms. Grunwald invited owner to the meeting, but he declined the invite. The Board wants to drive by the home to look at the area in question.

There is a damage to stop sign at Racetrack Rd and Ecclesia. The Board approved repair and agreed to option A to leave concrete ball buried.

|              |   |
|--------------|---|
| MOTION TO:   | Approve the repair in agreements to option A to leave concrete ball buried. |
| MADE BY:     | Supervisor Jackson  |
| SECONDED BY: | Supervisor Kinser- Powell   |
| DISCUSSION:  | None further  |
| RESULT:      | Called to Vote: Motion PASSED<br>3/0 - Motion passed unanimously            |

The pavers in low spots need to be addressed as Mr. Chang will do a walkthrough with Tom from T&J Pavers for quote.

There is water enclosure at Highland Park between 14689 Canopy Dr and 14687 Canopy Dr. Mr. Chang met with Tim Cooney from Site Masters at the site yesterday. The erosion that has occurred is different than what occurred last year, but we have a plan on how to address this repair. I have requested a quote from Site Masters and will forward that when I have it on hand.

The exposed pipe in the community needs to be addressed and the Board wants Phil to get quote from Tim the landscaper to install rocks to direct the water flow.

#### **B. District Counsel**

The District Counsel was not present and no reports currently.

#### **C. District Manager**

##### **i. Community Inspection Report**

##### **ii. Manager's Report**

Ms. Grunwald addresses the following.

Ms. Grunwald needs to determine what banners are missing and get with vendor doing Christmas décor for information on the banners.

Supervisor Kinser- Powell evaluated the gate keys and it does not fit. It needs to be addressed with Dale to see if he can help or where to get spares.

The electrical box at the estates gate needs to be addressed as Ms. Grunwald will get with Don the electrician to look. Ms. Grunwald to get quotes to order new gate key fobs.



Ms. Grunwald will contact the vendor regarding patches at the park to see why they are an assorted color and how to repair it. Also verify if it is under warranty.

The meeting books are not posted online on time. The Board wants the meeting books posted online when the book is sent to the Board. The Meeting books are missing online from year 2021 And the Board wants them updated as soon as possible.

The financials need to remove Brian's name from O&M or consent agenda?

The Board wants to know why we are spending so much on engineer expenses. Ms. Grunwald looked over invoices and recommended to keep engineer attending the meetings.

There are stones missing on the estate's monument. Ms. Grunwald will seek quotes for repairs.

#### **LANDSCAPING REPORT:**

The area at Greensleve need to trim back palm trees asap on the island.

The Board is unhappy with the weeds throughout the community and feel landscaper is lacking in attention to detail. Ms. Grunwald is going to schedule a drive through and ask the landscaper to attend the next meeting. The concerns with weeds around gate entrances and around the annuals.

The bench on pond thirteen need to be treated for fire ants.

The Board is not happy with the way the annuals look.

The CDD improvement to area on the corner of Canopy and Fountainhead. The Board agreed to install sod in this area. Ms. Grunwald is working to get quote from landscaper.

The Landscape Improvements to CDD property next to 11322 Minaret Dr. Ms. Grunwald is going to get with the landscaper to see what their options are. Board does not want to add sod because the area is not completely irrigated.

The Board would like to see if some sort of landscaping can be done to cover the drain. Ms. Grunwald will contact the landscaper.

The stone area in the small triangle median by park needs to remove mulch and replace with rocks as the mulch is washing into road.

#### **AQUATICS REPORT:**

The Board received a complaint from the homeowner about a conflict they had with someone that was servicing the pond. The Board was told that the vendor was unprofessional and using profanity. Ms. Grunwald will discuss this matter with the vendor.



**4. BUSINESS ITEMS**

**A. Discussion on Highland Park Playground Improvement**

The Board reviewed and discussed the rubber ground at the park and wants to see what is covered under warranty before deciding.

**5. CONSENT AGENDA**

**A. Consideration of Board of Supervisors Regular Meeting Minutes September 21, 2022**

**B. Consideration of Operations and Maintenance Expenditures September 2022**

**C. Review of Financials Statements Month Ending September 30, 2022**

The Board reviewed the Consent Agenda items and financial statements.

|              |                                 |
|--------------|---------------------------------|
| MOTION TO:   | Approve the Consent Agenda A-C. |
| MADE BY:     | Supervisor Jackson              |
| SECONDED BY: | Supervisor Kinser- Powell       |
| DISCUSSION:  | None further                    |
| RESULT:      | Called to Vote: Motion PASSED   |
|              | 3/0 - Motion passed unanimously |

**6. SUPERVISOR REQUESTS**

The Board requested to make sure summary of O&M's are separated on next financial report.

The Board expressed the Wall Project and to making sure the giant palm behind the monument is not touched.

The Board wants to make sure fuel surcharge is removed going forward with Spearem.

The Board requested that all bag slots are full at the Dog Stations.

The Board requested Gene to be more aggressive on landscape inspection.

**7. AUDIENCE QUESTIONS, COMMENTS AND DISCUSSION**

A resident expressed concerns with steps on the playground needs to be repaired.

A resident commented on plans of when Citrus Park area will be turned over to us and the irrigation is buried.

A resident expressed to have the sign at the entrance pressure washed.



**8. ADJOURNMENT**

|              |                                 |
|--------------|---------------------------------|
| MOTION TO:   | Adjourn at 12:44 p.m.           |
| MADE BY:     | Supervisor Kinser- Powell       |
| SECONDED BY: | Supervisor Jackson              |
| DISCUSSION:  | None further                    |
| RESULT:      | Called to Vote: Motion PASSED   |
|              | 3/0 - Motion passed unanimously |

*\*These minutes were done in summary format.*

*\*A copy of the audio recording is available on request.*

*\*Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.*

**Meeting minutes were approved at a meeting by vote of the Board of Supervisors at a publicly noticed meeting held on \_\_\_\_\_.**

\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Printed Name**

\_\_\_\_\_  
**Printed Name**

**Title:**

- ☐ **Chairman**  
☐ **Vice Chairman**

**Title:**

- ☐ **Secretary**  
☐ **Assistant Secretary**

*Recorded by Records Administrator*

\_\_\_\_\_  
*Signature*

\_\_\_\_\_  
*Date*

Official District Seal



## Park Place Community Development District Summary of Operations and Maintenance Invoices

| Vendor                            | Invoice/Account Number | Amount             | Vendor Total | Comments/Description               |
|-----------------------------------|------------------------|--------------------|--------------|------------------------------------|
| <b>Monthly Contract</b>           |                        |                    |              |                                    |
| Cypress Creek Aquatics, Inc       | 1197                   | \$3,160.00         |              | Aquatic Maintenance                |
| Frontier                          | 8138187058 100122      | \$100.12           |              | Phone Services thru – 10/31/2022   |
| Frontier                          | 8138188068 092222      | \$137.65           | \$237.77     | Phone Services thru – 10/31/2022   |
| Yellowstone Landscape             | TM 439202              | \$18,651.67        |              | Landscape Maintenance – 10/31/2022 |
| Yellowstone Landscape             | TM 446244              | \$2,666.53         |              | Landscape Maintenance – 10/31/2022 |
| Yellowstone Landscape             | TM 446967              | \$18,651.67        | \$39,969.87  | Landscape Maintenance – 10/31/2022 |
| <b>Monthly Contract Sub-Total</b> |                        | <b>\$43,367.64</b> |              |                                    |

|                                    |           |                   |          |                              |
|------------------------------------|-----------|-------------------|----------|------------------------------|
| <b>Variable Contract</b>           |           |                   |          |                              |
| Andrea R. Jackson                  | AJ0921222 | \$200.00          |          | Supervisor Fees – 09/21/2022 |
| Andrea R. Jackson                  | AJ101922  | \$200.00          | \$400.00 | Supervisor Fees – 10/19/2022 |
| Cathy Powell                       | CP092122  | \$200.00          |          | Supervisor Fees – 09/21/2022 |
| Cathy Powell                       | CP101922  | \$200.00          | \$400.00 | Supervisor Fees – 10/19/2022 |
| David L. Levy                      | DL092122  | \$200.00          |          | Supervisor Fees – 09/21/2022 |
| Erica Lavina                       | EL092122  | \$200.00          |          | Supervisor Fees – 09/21/2022 |
| Erica Lavina                       | EL101922  | \$200.00          | \$400.00 | Supervisor Fees – 10/19/2022 |
| <b>Variable Contract Sub-Total</b> |           | <b>\$1,400.00</b> |          |                              |

|                            |                     |            |            |                                     |
|----------------------------|---------------------|------------|------------|-------------------------------------|
| <b>Utilities</b>           |                     |            |            |                                     |
| BOCC – Hillsborough County | 1923999022 101422   | \$74.19    |            | Water Services thru – 10/31/2022    |
| BOCC – Hillsborough County | 2640510000 092322   | \$15.34    |            | Water Services thru – 09/30/2022    |
| BOCC – Hillsborough County | 3640510000 092322   | \$68.77    |            | Water Services thru – 09/30/2022    |
| BOCC – Hillsborough County | 4121609190 092322   | \$129.82   |            | Water Services thru – 09/30/2022    |
| BOCC – Hillsborough County | 4439866474 092322   | \$45.12    |            | Water Services thru – 09/30/2022    |
| BOCC – Hillsborough County | 4478300000 092322   | \$10.58    | \$343.82   | Water Services thru – 09/30/2022    |
| TECO                       | 221006629085 092622 | \$379.30   |            | Electric Services thru – 09/30/2022 |
| TECO                       | 221006630208 092622 | \$46.06    |            | Electric Services thru – 09/30/2022 |
| TECO                       | 221007862958 092622 | \$240.53   |            | Electric Services thru – 09/30/2022 |
| TECO                       | 221008555171 092622 | \$106.15   |            | Electric Services thru – 09/30/2022 |
| TECO                       | 311000010091 ACH    | \$4,890.95 | \$5,662.99 | Electric Services thru – 09/30/2022 |



## Park Place Community Development District Summary of Operations and Maintenance Invoices

| Vendor                     | Invoice/Account Number | Amount            | Vendor Total | Comments/Description |
|----------------------------|------------------------|-------------------|--------------|----------------------|
| <b>Utilities Sub-Total</b> |                        | <b>\$6,006.81</b> |              |                      |

|                                    |               |                    |            |   |
|------------------------------------|---------------|--------------------|------------|---|
| <b>Regular Services</b>            |               |                    |            |   |
| ADA Site Compliance                | 2388          | \$1,700.00         |            | Auditing Services – 09/21/2022          |
| Charles Aquatic Inc                | 46275         | \$125.00           |            | Quarterly Maintenance                   |
| Charles Aquatic Inc                | 46276         | \$125.00           | \$250.00   | Quarterly Maintenance                   |
| Department of Economic Opportunity | 86588         | \$175.00           |            | District Fee – FY22/FY23                |
| Don Harrison Enterprises, LLC      | 2945          | \$350.00           |            | Landscape Maintenance – 09/23/2022      |
| Egis Insurance Advisors            | 16913         | \$13,625.00        |            | Policy Renewal – 10/01/2022             |
| Field Consulting Group, LLC        | 2914          | \$250.00           |            | Printing Services – 09/25/2022          |
| Johnson Engineering, Inc           | 48            | \$3,657.50         |            | Professional Services thru – 10/31/2022 |
| Johnson Engineering, Inc           | 49            | \$2,755.00         | \$6,412.50 | Professional Services thru – 10/31/2022 |
| Nichols Landscape Architecture     | MPP20 1 23    | \$5,238.89         |            | Landscape Maintenance                   |
| Parking Lot Services               | 10394         | \$1,250.26         |            | Street Repairs                          |
| Site Masters of Florida, LLC       | 092222-1      | \$2,700.00         |            | Construction Services – 09/2022         |
| Site Masters of Florida, LLC       | 102122-1      | \$3,600.00         | \$6,300.00 | Construction Services – 09/2022         |
| Spearem Enterprises                | 5448          | \$125.00           |            | Labor Services thru – 10/31/2022        |
| Spearem Enterprises                | 5461          | \$1,299.00         |            | Labor Services thru – 10/31/2022        |
| Spearem Enterprises                | 5490          | \$750.00           |            | Labor Services thru – 10/31/2022        |
| Spearem Enterprises                | 5504          | \$1,299.00         |            | Labor Services thru – 10/31/2022        |
| Spearem Enterprises                | 5505          | \$140.00           | \$3,613.00 | Labor Services thru – 10/31/2022        |
| Straley Robin Vericker             | 22064         | \$640.50           |            | Professional Services thru – 09/15/2022 |
| Times Publishing Company           | 117357 101222 | \$486.50           |            | Advertising Services – 10/12/2022       |
| Yellowstone Landscape              | TM 439045     | \$3,213.00         |            | Landscape Maintenance                   |
| <b>Regular Services Sub-Total</b>  |               | <b>\$43,504.65</b> |            |   |

|                                      |           |                 |  |                                  |
|--------------------------------------|-----------|-----------------|--|----------------------------------|
| <b>Additional Services</b>           |           |                 |  |                                  |
| Spearem Enterprises                  | 5472      | \$110.00        |  | Labor Services thru – 10/31/2022 |
| Yellowstone Landscape                | TM 439044 | \$725.00        |  | Landscape Maintenance            |
| <b>Additional Services Sub-Total</b> |           | <b>\$835.00</b> |  |                                  |



# Park Place Community Development District Summary of Operations and Maintenance Invoices

| Vendor | Invoice/Account<br>Number | Amount      | Vendor<br>Total | Comments/Description |
|--------|---------------------------|-------------|-----------------|----------------------|
| TOTAL: |                           | \$95,114.10 |                 |                      |

Approved (with any necessary revisions noted):

Signature

Printed Name

Title (check one):  
☐ Chairman ☐ Vice Chairman ☐ Assistant Secretary





**Cypress Creek**  
AQUATICS  
Environmental Services

| Date      | Invoice # |
|-----------|-----------|
| 10/1/2022 | 1197      |

Park Place CDD  
c/o Meritus Corp  
2005 Pan Am Circle, Suite 300  
Tampa, FL 33607

| Quantity | Item Code           | Description  | Price Each   | Amount     |
|----------|---------------------|--|--------------|------------|
| 1        | Aquatic Maintenance | Aquatic Maintenance<br>1. Floating Vegetation Control<br>2. Filamentous Algae Control<br>3. Submersed vegetation Control<br>4. Shoreline grass & brush control<br>5. Perimeter trash cleanup | 3,160.00     | 3,160.00   |
|          |                     |  | <b>Total</b> | \$3,160.00 |









Date of Bill  
Account Number

10/01/22  
813-818-7058-022619-5

## MULTI-DEVICE SECURITY PRO

Get peace of mind with anti-virus protection that defends against spyware, ransomware and malware on 35 devices. Included with new Frontier® Fiber.

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Protects you when visiting websites and banking online

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For help: Customer Service at [frontier.com/HelpCenter](https://frontier.com/HelpCenter) or chat at [frontier.com/chat](https://frontier.com/chat). Visually impaired/TTY customers, call 711. For languages other than English or Spanish, call 1-833-557-1929

### PAYING YOUR BILL, LATE PAYMENTS, RETURNED CHECK FEES and PAST DUE BALANCES

You are responsible for all legitimate, undisputed charges on your bill. Paying by check authorizes Frontier to make a one-time electronic funds transfer from your account, as early as the day your check is received. When making an online payment, please allow time for the transfer of funds. If funds are received after the due date, you may be charged a fee, your service may be interrupted, and you may incur a reconnection charge to restore service. A fee may be charged for a bank returned check. Continued nonpayment of undisputed charges (incl. 900 and long distance charges) may result in collection action and a referral to credit reporting agencies, which may affect your credit rating.

### IMPORTANT CONSUMER MESSAGES

You must pay all basic local service charges to avoid basic service disconnection. Failure to pay other charges will not cause disconnection of your basic service but this may cause other services to be terminated. Frontier Bundles may include charges for both basic and other services. Frontier periodically audits its bills to ensure accuracy which may result in a retroactive or future billing adjustment. Internet speed, if noted, is the maximum wired connection speed for selected tier; Wi-Fi speeds may vary; actual and average speed may be slower and depends on multiple factors. Performance details are at [frontier.com/internetdisclosures](https://frontier.com/internetdisclosures).

### SERVICE TERMS

Visit [frontier.com/terms](https://frontier.com/terms), [frontier.com/tariffs](https://frontier.com/tariffs) or call Customer Service for information on tariffs, price lists and other important Terms, Conditions and Policies ("Terms") related to your voice, Internet and/or video services including limitations of liability, early termination fees, the effective date of and billing for the termination of service(s) and other important information about your rights and obligations, and ours. Frontier's Terms include a binding arbitration provision to resolve customer disputes ([frontier.com/terms/arbitration](https://frontier.com/terms/arbitration)). **Video and Internet services are subscription-based and are billed one full month in advance. Video and/or Internet service subscription cancellations and any early termination fees are effective on the last day of your Frontier billing cycle. No partial month credits or refunds will be provided for previously billed service subscriptions.** By using or paying for Frontier services, you are agreeing to these Terms and that disputes will be resolved by individual arbitration. By providing personal information to Frontier you are also agreeing to Frontier's Privacy Policy posted at [frontier.com/privacy](https://frontier.com/privacy).

**IF YOU HAVE ANY QUESTIONS, BILLING CONCERN, OR RECURRING ISSUES, PLEASE CONTACT OUR FLORIDA- BASED CUSTOMER CARE TEAM AT 1-888-457-4110. OUR FLORIDA TEAM IS EAGER TO HELP YOU GET SPECIALIZED ATTENTION.**





Date of Bill  
Account Number

10/01/22  
813-818-7058-022619-5

**CURRENT BILLING SUMMARY**

Local Service from 10/01/22 to 10/31/22

| Qty Description                            | 813/818-7058.0 | Charge       |
|--|----------------|--------------|
| <b>Basic Charges</b>                       |                |              |
| Business Line                              |                | 42.00        |
| Carrier Cost Recovery Surcharge            |                | 8.99         |
| Multi-Line Federal Subscriber Line Charge  |                | 8.40         |
| Access Recovery Charge Multi-Line Business |                | 3.58         |
| Frontier Roadwork Recovery Surcharge       |                | 1.75         |
| FL State Communications Services Tax       |                | 3.49         |
| Federal USF Recovery Charge                |                | 3.46         |
| County Communications Services Tax         |                | 3.40         |
| FCA Long Distance - Federal USF Surcharge  |                | 2.60         |
| Federal Excise Tax                         |                | 1.67         |
| FL State Gross Receipts Tax                |                | 1.31         |
| Hillsborough County 911 Surcharge          |                | .40          |
| FL State Gross Receipts Tax                |                | .11          |
| FL Telecommunications Relay Service        |                | .10          |
| <b>Total Basic Charges</b>                 |                | <b>81.26</b> |
| <b>Non Basic Charges</b>                   |                |              |
| Federal Primary Carrier Multi Line Charge  |                | 7.99         |
| FCA Long Distance - Federal USF Surcharge  |                | 2.31         |
| FL State Communications Services Tax       |                | .51          |
| County Communications Services Tax         |                | .49          |
| <b>Total Non Basic Charges</b>             |                | <b>11.30</b> |
| <b>Toll/Other</b>                          |                |              |
| Frontier Long Distance Business Plan       |                | 4.99         |
| Frontier Com of America -Detailed Below    |                | .35          |
| FCA Long Distance - Federal USF Surcharge  |                | 1.53         |
| FL State Communications Services Tax       |                | .34          |
| County Communications Services Tax         |                | .33          |
| FL State Gross Receipts Tax                |                | .01          |
| FL State Gross Receipts Tax                |                | .01          |
| <b>Total Toll/Other</b>                    |                | <b>7.56</b>  |
| <b>TOTAL</b>                               | <b>100.12</b>  |              |

**Detail of Frontier Com of America Charges**

Toll charged to 813/818-7058

| Ref #                        | Date   | Time   | Min | *Type | Place and Number Called     | Charge     |
|------------------------------|--------|--------|-----|-------|-----------------------------|------------|
| 1                            | SEP 06 | 11:43A | .3  | DD    | BRENTWOOD NY (631)804-0457  | .03        |
| 2                            | SEP 06 | 11:44A | .3  | DD    | BRENTWOOD NY (631)804-0457  | .03        |
| 3                            | SEP 07 | 12:35P | .6  | DD    | OSWEGO NY (315)529-8413     | .05        |
| 4                            | SEP 15 | 6:51P  | .3  | DD    | WASHINGTON DC (202)207-8225 | .03        |
| 5                            | SEP 15 | 6:51P  | .3  | DD    | WASHINGTON DC (202)207-8225 | .03        |
| 6                            | SEP 19 | 1:41P  | .3  | DD    | ATLANTA GA (404)783-6193    | .03        |
| 7                            | SEP 19 | 1:42P  | .3  | DD    | ATLANTA GA (404)783-6193    | .03        |
| 8                            | SEP 19 | 1:43P  | .3  | DD    | ATLANTA GA (404)783-6193    | .03        |
| 9                            | SEP 20 | 6:12P  | .3  | DD    | WASHINGTON DC (202)207-8225 | .03        |
| 10                           | SEP 23 | 12:56P | .3  | DD    | WASHINGTON DC (202)207-8225 | .03        |
| 11                           | SEP 25 | 8:51A  | .3  | DD    | COCOA FL (321)591-5233      | .03        |
| <b>813/818-7058 Subtotal</b> |        |        |     |       |                             | <b>.35</b> |

**Legend Call Types:**

DD - Day

**Caller Summary Report**

|                     | Calls | Minutes | Amount |
|---------------------|-------|---------|--------|
| Main Number         | 11    | 3       | .35    |
| ***Customer Summary | 11    | 3       | .35    |

**CUSTOMER TALK**

If your bill reflects that you owe a Balance Forward, you must make a payment immediately in order to avoid collection activities. You must pay a minimum of \$100.12 by your due date to avoid disconnection of your local service. All other charges should be paid by your due date to keep your account current.

Frontier would like to offer you products and services that best meet your needs by using information about services you have already purchased from Frontier. To do this, Frontier has the right to share your customer proprietary network information (CPNI) among our affiliates. CPNI is information available to us solely by virtue of our relationship about your current telecommunications and interconnected VoIP services, how you use them, and the related billing of those services. Protecting the confidentiality of your CPNI is your right and our duty under federal law. You may choose not to allow us to use your CPNI to offer you additional products or services, such as, long distance, High-Speed Internet, or bundled packages. If Frontier's use of your customer information for this purpose is acceptable to you, you do not need to take any action. Your consent to Frontier's use of your CPNI will be inferred after thirty (30) days. If you wish to restrict Frontier's use of your CPNI, you may call 1-877-213-1556 or visit [frontier.com/resources/cpni](http://frontier.com/resources/cpni) Even if you consent to Frontier's use of your CPNI, as described above, you can change your mind at any time and contact customer service to make that change. Any restriction of Frontier's use of your CPNI will stay in effect until you notify us otherwise. If you choose to restrict access to your CPNI, your service will not be affected - you will continue to receive the same high quality services from Frontier. You should know that restricting Frontier's use of your CPNI will not eliminate all of our marketing contacts with you. You may still receive marketing contacts that are not based on your restricted CPNI. Frontier takes the privacy of customer information seriously and appreciates the opportunity to provide high quality communications services to you.

Starting this month, the government is requiring the Access Recovery Charge Multi-Line to increase by \$0.11 per month. Learn more at [Frontier.com/FCC-Changes](http://Frontier.com/FCC-Changes)

Starting this month, the government is requiring the Subscriber Line Charge Multi-Line to decrease by \$0.22 per month. Learn more at [Frontier.com/FCC-Changes](http://Frontier.com/FCC-Changes)

Starting this month, the government is requiring the Federal USF Recovery Charge and the Frontier Long Distance Federal USF Surcharge to decrease from 33.0% to 28.8% of the taxable interstate and international portions of your phone bill. Both charges support the Universal Service Fund, which keeps local phone service affordable for all Americans by providing discounts on services to schools, libraries, and people living in rural and high-cost areas. Learn more at [Frontier.com/FCC-Changes](http://Frontier.com/FCC-Changes)







PARK PLACE CDD

Page 4 of 4

Date of Bill  
Account Number

10/01/22  
813-818-7058-022619-5

### Caller Summary Report

|                     | Calls | Minutes | Amount |
|---------------------|-------|---------|--------|
| Interstate          | 10    | 3       | .32    |
| Intrastate          | 1     |         | .03    |
| ***Customer Summary | 11    | 3       | .35    |





**Your Monthly Invoice****Account Summary****New Charges Due Date****10/17/22**

Billing Date

9/22/22

Account Number

813-818-8068-022619-5

PIN

9579

Previous Balance

137.65

Payments Received Thru 9/08/22

-137.65

Thank you for your payment!

Balance Forward

.00

New Charges

137.65

**Total Amount Due****\$137.65****MAKE  
THE WAIT  
GREAT**

Keep customers content with their favorite  
channels. With DISH® TV, we make it easy:

One choice: dozens of popular channels

One bill: bundle with internet & voice

One price: 2-year price guarantee

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**WAYS  
TO PAY  
YOUR  
BILL**

[frontier.com/  
SignUpForAutoPay](https://frontier.com/SignUpForAutoPay)



[frontier.com/pay](https://frontier.com/pay)



800-801-6652

**PAYMENT STUB****Total Amount Due****\$137.65**

New Charges Due Date

10/17/22

Account Number

813-818-8068-022619-5

**Amount Enclosed****\$**

To change your billing address, call 1-800-921-8102

**Mail Payment To:**

FRONTIER  
PO BOX 740407  
CINCINNATI, OH 45274-0407



P.O. Box 211579  
Eagan, MN 55121-2879

6790 0007 NO RP 23 09232022 NNNNNNNY 01 000597 0003

PARK PLACE CDD  
2005 PAN AM CIR STE 300  
TAMPA FL 33607-6008



40700381381880680226190000000000000000137655





Date of Bill  
Account Number

9/22/22  
813-818-8068-022619-5

**CURRENT BILLING SUMMARY**

Local Service from 09/22/22 to 10/21/22

| Qty Description                            | 813/818-8068.0 | Charge        |
|--|----------------|---------------|
| <b>Basic Charges</b>                       |                |               |
| FTR Freedom for Business                   |                | 87.00         |
| Carrier Cost Recovery Surcharge            |                | 8.99          |
| Federal Subscriber Line Charge - Bus       |                | 6.50          |
| Access Recovery Charge-Business            |                | 2.50          |
| Frontier Roadwork Recovery Surcharge       |                | 1.75          |
| FCA Long Distance - Federal USF Surcharge  |                | 7.26          |
| FL State Communications Services Tax       |                | 5.76          |
| County Communications Services Tax         |                | 5.60          |
| Federal USF Recovery Charge                |                | 2.98          |
| FL State Gross Receipts Tax                |                | 2.49          |
| Hillsborough County 911 Surcharge          |                | .40           |
| Federal Excise Tax                         |                | .33           |
| FL State Gross Receipts Tax                |                | .17           |
| FL Telecommunications Relay Service        |                | .10           |
| <b>Total Basic Charges</b>                 |                | <b>131.83</b> |
| <b>Toll/Other</b>                          |                |               |
| Federal Primary Carrier Single Line Charge |                | 3.99          |
| FCA Long Distance - Federal USF Surcharge  |                | 1.32          |
| FL State Communications Services Tax       |                | .26           |
| County Communications Services Tax         |                | .25           |
| <b>Total Toll/Other</b>                    |                | <b>5.82</b>   |
| <b>TOTAL</b>                               | <b>137.65</b>  |               |

**CUSTOMER TALK**

If your bill reflects that you owe a Balance Forward, you must make a payment immediately in order to avoid collection activities. You must pay a minimum of \$137.65 by your due date to avoid disconnection of your local service. All other charges should be paid by your due date to keep your account current.

**Detail of Frontier Charges**

Toll charged to 813/818-8068

**Detail of Frontier Com of America Charges**

Toll charged to 813/818-8068

**Legend Call Types:**

DD - Day

**Caller Summary Report**

|                     | Calls | Minutes | Amount |
|---------------------|-------|---------|--------|
| Main Number         | 8     | 8       | .00    |
| ***Customer Summary | 8     | 8       | .00    |

**Caller Summary Report**

|                     | Calls | Minutes | Amount |
|---------------------|-------|---------|--------|
| Intra-Lata          | 5     | 5       | .00    |
| Interstate          | 3     | 3       | .00    |
| ***Customer Summary | 8     | 8       | .00    |





## INVOICE

| INVOICE # | INVOICE DATE |
|-----------|--------------|
| TM 439202 | 10/1/2022    |
| TERMS     | PO NUMBER    |
| Net 30    |              |

**Bill To:**

Park Place CDD  
c/o Meritus  
c/o Meritus Communities  
2005 Pan Am Circle, Suite 300  
Tampa, FL 33607

**Remit To:**

Yellowstone Landscape  
PO Box 101017  
Atlanta, GA 30392-1017

**Property Name:** Park Place CDD

**Invoice Due Date:** October 31, 2022

**Invoice Amount:** \$18,651.67

| Description                                | Current Amount |
|--|----------------|
| Monthly Landscape Maintenance October 2022 | \$18,651.67    |

**Invoice Total** **\$18,651.67**

*Excellence*

IN COMMERCIAL LANDSCAPING

**Should you have any questions or inquiries please call (386) 437-6211.**





## INVOICE

| INVOICE # | INVOICE DATE |
|-----------|--------------|
| TM 446244 | 10/24/2022   |
| TERMS     | PO NUMBER    |
| Net 30    |              |

**Bill To:**

Park Place CDD  
c/o Meritus  
c/o Meritus Communities  
2005 Pan Am Circle, Suite 300  
Tampa, FL 33607

**Remit To:**

Yellowstone Landscape  
PO Box 101017  
Atlanta, GA 30392-1017

**Property Name:** Park Place CDD

**Invoice Due Date:** November 23, 2022

**Invoice Amount:** \$2,666.53

| Description | Current Amount |
|-------------|----------------|
|-------------|----------------|

October Irrigation Repairs

October Irrigation Repairs, details included in Inspection Report.

[http://files.tapigo.com/e761c930-ee33-4238-a1ff-11a572c4939a/proposal/6a10c5b1-a0d2-4f71-826a-fa8fc60137ef/6d9f7118-219e-43b9-b740-58e87e556769/Park\\_Place\\_CDD.html](http://files.tapigo.com/e761c930-ee33-4238-a1ff-11a572c4939a/proposal/6a10c5b1-a0d2-4f71-826a-fa8fc60137ef/6d9f7118-219e-43b9-b740-58e87e556769/Park_Place_CDD.html)

Irrigation Repairs

\$2,666.53

**Invoice Total**

**\$2,666.53**

IN COMMERCIAL LANDSCAPING

**Should you have any questions or inquiries please call (386) 437-6211.**



**Bowersox, Tim**

---

**From:** Angie Grunwald <Angie.Grunwald@Inframark.com>  
**Sent:** Friday, October 14, 2022 9:48 AM  
**To:** Bowersox, Tim  
**Subject:** Re: Please see report from October Wet Check For Park Place CDD

[CAUTION: THIS IS AN EXTERNAL EMAIL. CHECK THE SENDER'S EMAIL ADDRESS. DO NOT CLICK ON ANY LINKS OR ATTACHMENTS UNLESS YOU KNOW THIS IS LEGITIMATE]

Approved

Thank you,  
Angie Grunwald

On Oct 13, 2022, at 2:29 PM, Bowersox, Tim <tbowersox@yellowstonelandscape.com> wrote:

**WARNING: This email originated outside of Inframark. Take caution when clicking on links and opening attachments**

Angie,  
Please click on link to go to your October Wet check Report and Proposal for needed repairs. Let me know if you have any questions. Please reply approved or send back proposal approved so I can schedule necessary repairs. Have a wonderful day!

Park Place CDD - October Irrigation Inspection

Thanks,  
Tim

**Tim Bowersox** | *Senior Account Manager*  
Yellowstone Landscape  
Phone: 813.223.6999 x206 | Cell: 813.714.2520 | [www.yellowstonelandscape.com](http://www.yellowstonelandscape.com)



**YELLOWSTONE**  
LANDSCAPE

Excellence IN COMMERCIAL LANDSCAPING





## INVOICE

| INVOICE # | INVOICE DATE |
|-----------|--------------|
| TM 446967 | 11/1/2022    |
| TERMS     | PO NUMBER    |
| Net 30    |              |

**Bill To:**

Park Place CDD  
c/o Inframark  
2005 Pan Am Circle  
Suite 300  
Tampa, FL 33607

**Remit To:**

Yellowstone Landscape  
PO Box 101017  
Atlanta, GA 30392-1017

**Property Name:** Park Place CDD

**Invoice Due Date:** December 1, 2022

**Invoice Amount:** \$18,651.67

| Description                                 | Current Amount |
|---|----------------|
| Monthly Landscape Maintenance November 2022 | \$18,651.67    |

**Invoice Total**

**\$18,651.67**

*Excellence*

IN COMMERCIAL LANDSCAPING

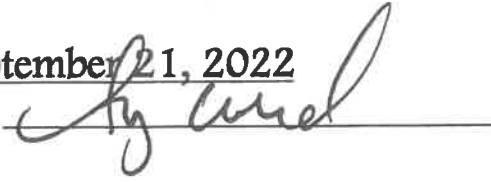
**Should you have any questions or inquiries please call (386) 437-6211.**



**PARK PLACE CDD**

MEETING DATE: September 21, 2022

DMS Staff Signature



| SUPERVISORS           | CHECK IF IN ATTENDANCE | STATUS          | PAYMENT AMOUNT |
|-----------------------|------------------------|-----------------|----------------|
| David Levy            | ✓                      | Salary Accepted | \$200          |
| Cathy Powell          | ✓                      | Salary Accepted | \$200          |
| Erica Lavina          | ✓                      | Salary Accepted | \$200          |
| Andrea Jackson        | ✓                      | Salary Accepted | \$200          |
| Doris Haley Cockerell |                        | Salary Accepted | \$200          |

AJ 092122



**PARK PLACE CDD**

MEETING DATE: October 19, 2022

DMS Staff Signature \_\_\_\_\_

| SUPERVISORS           | CHECK IF IN ATTENDANCE | STATUS          | PAYMENT AMOUNT |
|-----------------------|------------------------|-----------------|----------------|
| David Levy            | not present            | Salary Accepted | \$200          |
| Cathy Powell          | ✓                      | Salary Accepted | \$200          |
| Erica Lavina          | ✓                      | Salary Accepted | \$200          |
| Andrea Jackson        | ✓                      | Salary Accepted | \$200          |
| Doris Haley Cockerell | not present            | Salary Accepted | \$200          |

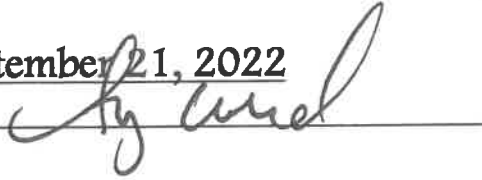
AJ 10/19/22



**PARK PLACE CDD**

MEETING DATE: September 21, 2022

DMS Staff Signature



| SUPERVISORS           | CHECK IF IN ATTENDANCE | STATUS          | PAYMENT AMOUNT |
|-----------------------|------------------------|-----------------|----------------|
| David Levy            | ✓                      | Salary Accepted | \$200          |
| Cathy Powell          | ✓                      | Salary Accepted | \$200          |
| Erica Lavina          | ✓                      | Salary Accepted | \$200          |
| Andrea Jackson        | ✓                      | Salary Accepted | \$200          |
| Doris Haley Cockerell |                        | Salary Accepted | \$200          |

CP 092122



**PARK PLACE CDD**

**MEETING DATE: October 19, 2022**

**DMS Staff Signature** \_\_\_\_\_

| SUPERVISORS           | CHECK IF IN ATTENDANCE | STATUS          | PAYMENT AMOUNT |
|-----------------------|------------------------|-----------------|----------------|
| David Levy            | not present            | Salary Accepted | \$200          |
| Cathy Powell          | ✓                      | Salary Accepted | \$200          |
| Erica Lavina          | ✓                      | Salary Accepted | \$200          |
| Andrea Jackson        | ✓                      | Salary Accepted | \$200          |
| Doris Haley Cockerell | not present            | Salary Accepted | \$200          |

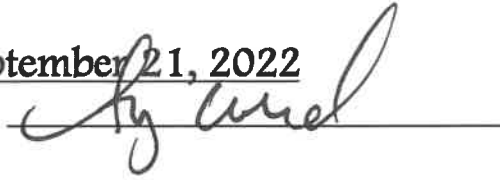
CP101922



**PARK PLACE CDD**

MEETING DATE: September 21, 2022

DMS Staff Signature



| SUPERVISORS           | CHECK IF IN ATTENDANCE | STATUS          | PAYMENT AMOUNT |
|-----------------------|------------------------|-----------------|----------------|
| David Levy            | ✓                      | Salary Accepted | \$200          |
| Cathy Powell          | ✓                      | Salary Accepted | \$200          |
| Erica Lavina          | ✓                      | Salary Accepted | \$200          |
| Andrea Jackson        | ✓                      | Salary Accepted | \$200          |
| Doris Haley Cockerell |                        | Salary Accepted | \$200          |

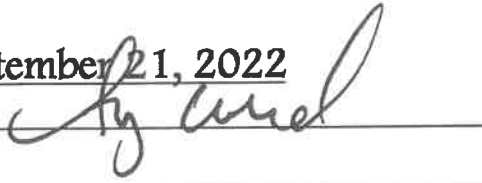
DL 092122



**PARK PLACE CDD**

MEETING DATE: September 21, 2022

DMS Staff Signature



| SUPERVISORS           | CHECK IF IN ATTENDANCE | STATUS          | PAYMENT AMOUNT |
|-----------------------|------------------------|-----------------|----------------|
| David Levy            | ✓                      | Salary Accepted | \$200          |
| Cathy Powell          | ✓                      | Salary Accepted | \$200          |
| Erica Lavina          | ✓                      | Salary Accepted | \$200          |
| Andrea Jackson        | ✓                      | Salary Accepted | \$200          |
| Doris Haley Cockerell |                        | Salary Accepted | \$200          |

EL 092122

**PARK PLACE CDD**

MEETING DATE: October 19, 2022

DMS Staff Signature \_\_\_\_\_

| SUPERVISORS           | CHECK IF IN ATTENDANCE | STATUS          | PAYMENT AMOUNT |
|-----------------------|------------------------|-----------------|----------------|
| David Levy            | not present            | Salary Accepted | \$200          |
| Cathy Powell          | ✓                      | Salary Accepted | \$200          |
| Frica Lavina          | ✓                      | Salary Accepted | \$200          |
| Andrea Jackson        | ✓                      | Salary Accepted | \$200          |
| Doris Haley Cockerell | not present            | Salary Accepted | \$200          |

EL 101922





Hillsborough  
County Florida

M-Page 1 of 2

| CUSTOMER NAME  | ACCOUNT NUMBER | BILL DATE  | DUE DATE   |
|----------------|----------------|------------|------------|
| PARK PLACE CDD | 1923999022     | 10/14/2022 | 11/04/2022 |



#### Summary of Account Charges

|                          |                |
|--------------------------|----------------|
| Previous Balance         | \$50.86        |
| Net Payments - Thank You | \$-50.86       |
| Total Account Charges    | \$74.19        |
| <b>AMOUNT DUE</b>        | <b>\$74.19</b> |

#### Important Message

Worried about wasting water from an inefficient irrigation system? If you would like your system evaluated, call Paula Staples, UF/IFAS Extension Hillsborough County, at 813-744-5519 X 54142 to see if you qualify for a free irrigation evaluation.

BOCC Approved Rate Increases Are Effective Oct. 1, 2022. Residential Customers using 7,000 gallons of water monthly will have an average bill increase of 5.88%. Visit [HCFLGov.net/Water](http://HCFLGov.net/Water), Water Rates & Fees tab for details.

This is your summary of charges. Detailed charges by premise are listed on the following page(s)



Hillsborough  
County Florida

Make checks payable to: **BOCC**

ACCOUNT NUMBER: 1923999022



Received

OCT 20 2022

#### ELECTRONIC PAYMENTS BY CHECK OR

Automated Payment Line: (813) 276 8526  
Internet Payments: [HCFLGov.net/WaterBill](http://HCFLGov.net/WaterBill)  
Additional Information: [HCFLGov.net/Water](http://HCFLGov.net/Water)



**THANK YOU!**



PARK PLACE CDD  
2005 PAN AM CIR STE 300  
TAMPA FL 33607-6008

208

|             |            |
|-------------|------------|
| DUE DATE    | 11/04/2022 |
| AMOUNT DUE  | \$74.19    |
| AMOUNT PAID |            |

0019239990229 00000074195



Hillsborough  
County Florida

| CUSTOMER NAME  | ACCOUNT NUMBER | BILL DATE  | DUE DATE   |
|----------------|----------------|------------|------------|
| PARK PLACE CDD | 1923999022     | 10/14/2022 | 11/04/2022 |

Service Address: 11741 CITRUS PARK DR

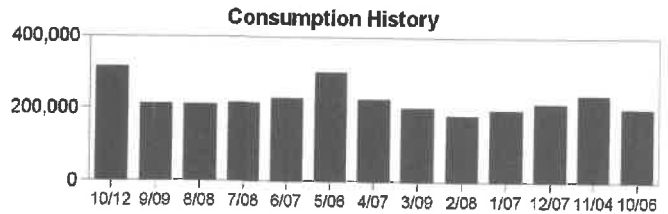
M-Page 2 of 2

| METER NUMBER | PREVIOUS DATE | PREVIOUS READ | PRESENT DATE | PRESENT READ | CONSUMPTION | READ TYPE | METER DESCRIPTION |
|--------------|---------------|---------------|--------------|--------------|-------------|-----------|-------------------|
| 29599843     | 09/09/2022    | 459941        | 10/12/2022   | 463083       | 314200 GAL  | ACTUAL    | RECLAIM           |

**Service Address Charges**

Reclaimed Water Charge \$59.41

**Total Service Address Charges \$59.41**



Hillsborough  
County Florida

| CUSTOMER NAME  | ACCOUNT NUMBER | BILL DATE  | DUE DATE   |
|----------------|----------------|------------|------------|
| PARK PLACE CDD | 1923999022     | 10/14/2022 | 11/04/2022 |

Service Address: 11698 CITRUS PARK DR

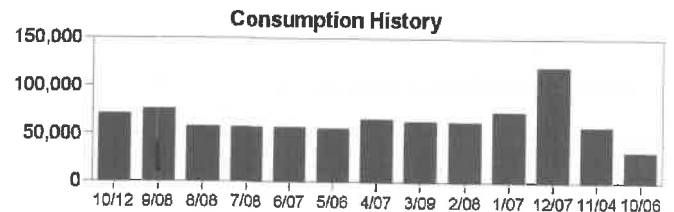
M-Page 2 of 2

| METER NUMBER | PREVIOUS DATE | PREVIOUS READ | PRESENT DATE | PRESENT READ | CONSUMPTION | READ TYPE | METER DESCRIPTION |
|--------------|---------------|---------------|--------------|--------------|-------------|-----------|-------------------|
| 29599847B    | 09/08/2022    | 85563         | 10/12/2022   | 86267        | 70400 GAL   | ACTUAL    | RECLAIM           |

**Service Address Charges**

Reclaimed Water Charge \$14.78

**Total Service Address Charges \$14.78**







Hillsborough  
County Florida

| CUSTOMER NAME  | ACCOUNT NUMBER | BILL DATE  | DUE DATE   |
|----------------|----------------|------------|------------|
| PARK PLACE CDD | 2640510000     | 09/23/2022 | 10/14/2022 |

Service Address: 14729 BRICK PL

S-Page 1 of 1

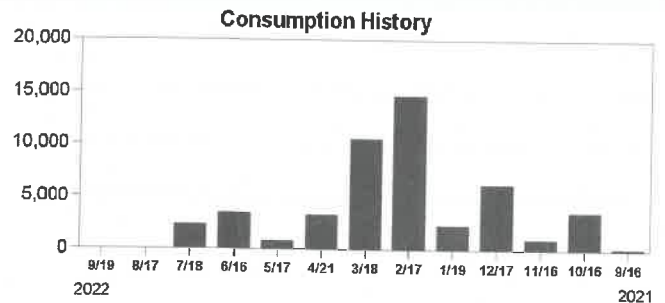
| METER NUMBER | PREVIOUS DATE | PREVIOUS READ | PRESENT DATE | PRESENT READ | CONSUMPTION | READ TYPE | METER DESCRIPTION |
|--------------|---------------|---------------|--------------|--------------|-------------|-----------|-------------------|
| 41836012     | 08/17/2022    | 6019          | 09/19/2022   | 6019         | 0 GAL       | ACTUAL    | WATER             |

#### Service Address Charges

|                         |         |
|-------------------------|---------|
| Customer Service Charge | \$4.98  |
| Water Base Charge       | \$10.36 |

#### Summary of Account Charges

|                          |                |
|--------------------------|----------------|
| Previous Balance         | \$15.34        |
| Net Payments - Thank You | \$-15.34       |
| Total Account Charges    | \$15.34        |
| <b>AMOUNT DUE</b>        | <b>\$15.34</b> |



Make checks payable to: **BOCC**

ACCOUNT NUMBER: 2640510000



#### ELECTRONIC PAYMENTS BY CHECK OR

Automated Payment Line: (813) 276 8526  
Internet Payments: [HCFLGov.net/WaterBill](http://HCFLGov.net/WaterBill)  
Additional Information: [HCFLGov.net/Water](http://HCFLGov.net/Water)



**THANK YOU!**



PARK PLACE CDD  
2005 PAN AM CIR STE 300  
TAMPA FL 33607-6008

765 8

|             |            |
|-------------|------------|
| DUE DATE    | 10/14/2022 |
| AMOUNT DUE  | \$15.34    |
| AMOUNT PAID |            |

0026405100004 00000015347

112



Hillsborough  
County Florida

| CUSTOMER NAME  | ACCOUNT NUMBER | BILL DATE  | DUE DATE   |
|----------------|----------------|------------|------------|
| PARK PLACE CDD | 3640510000     | 09/23/2022 | 10/14/2022 |

Service Address: 14727 CANOPY DR

S-Page 1 of 1

| METER NUMBER | PREVIOUS DATE | PREVIOUS READ | PRESENT DATE | PRESENT READ | CONSUMPTION | READ TYPE | METER DESCRIPTION |
|--------------|---------------|---------------|--------------|--------------|-------------|-----------|-------------------|
| 78978402     | 08/17/2022    | 10617         | 09/19/2022   | 10622        | 500 GAL     | ACTUAL    | WATER             |

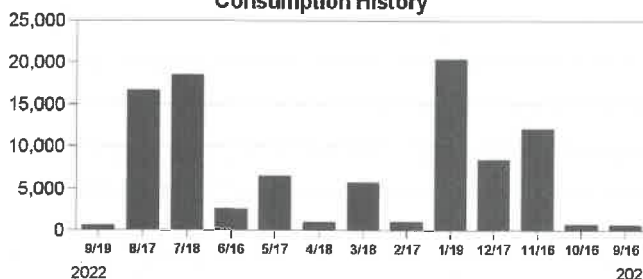
#### Service Address Charges

|                          |         |
|--------------------------|---------|
| Customer Service Charge  | \$4.98  |
| Purchase Water Pass-Thru | \$1.51  |
| Water Base Charge        | \$17.30 |
| Water Usage Charge       | \$0.43  |
| Sewer Base Charge        | \$41.85 |
| Sewer Usage Charge       | \$2.70  |

#### Summary of Account Charges

|                          |                |
|--------------------------|----------------|
| Previous Balance         | \$231.38       |
| Net Payments - Thank You | \$-231.38      |
| Total Account Charges    | \$68.77        |
| <b>AMOUNT DUE</b>        | <b>\$68.77</b> |

Consumption History



Hillsborough  
County Florida

Make checks payable to: BOCC

ACCOUNT NUMBER: 3640510000



#### ELECTRONIC PAYMENTS BY CHECK OR

Automated Payment Line: (813) 276 8526  
Internet Payments: [HCFLGov.net/WaterBill](http://HCFLGov.net/WaterBill)  
Additional Information: [HCFLGov.net/Water](http://HCFLGov.net/Water)



OCT 03 2022

**THANK YOU!**



PARK PLACE CDD  
2005 PAN AM CIR STE 300  
TAMPA FL 33607-6008

1,026 8

|             |            |
|-------------|------------|
| DUE DATE    | 10/14/2022 |
| AMOUNT DUE  | \$68.77    |
| AMOUNT PAID |            |

0036405100003 00000068775

113





Hillsborough  
County Florida

| CUSTOMER NAME  | ACCOUNT NUMBER | BILL DATE  | DUE DATE   |
|----------------|----------------|------------|------------|
| PARK PLACE CDD | 4121609190     | 09/23/2022 | 10/14/2022 |

Service Address: 11592 FOUNTAINHEAD

S-Page 1 of 1

| METER NUMBER | PREVIOUS DATE | PREVIOUS READ | PRESENT DATE | PRESENT READ | CONSUMPTION | READ TYPE | METER DESCRIPTION |
|--------------|---------------|---------------|--------------|--------------|-------------|-----------|-------------------|
| 34034976     | 08/17/2022    | 209604        | 09/19/2022   | 212674       | 307000 GAL  | ACTUAL    | RECLAIM           |

Service Address Charges

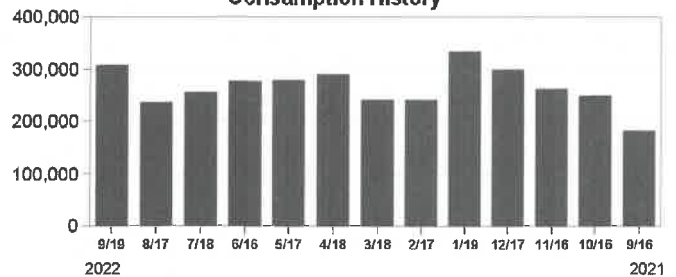
Reclaimed Water Charge \$129.82

Summary of Account Charges

Previous Balance \$83.47  
Net Payments - Thank You \$-83.47  
Total Account Charges \$129.82

|            |          |
|------------|----------|
| AMOUNT DUE | \$129.82 |
|------------|----------|

Consumption History



Hillsborough  
County Florida

Make checks payable to: **BOCC**

ACCOUNT NUMBER: 4121609190



OCT 03 2022

ELECTRONIC PAYMENTS BY CHECK OR

Automated Payment Line: (813) 276 8526  
Internet Payments: [HCFLGov.net/WaterBill](http://HCFLGov.net/WaterBill)  
Additional Information: [HCFLGov.net/Water](http://HCFLGov.net/Water)



**THANK YOU!**



PARK PLACE CDD  
2005 PAN AM CIRCLE, SUITE 300  
TAMPA FL 33607-6008

1,154 8

|             |            |
|-------------|------------|
| DUE DATE    | 10/14/2022 |
| AMOUNT DUE  | \$129.82   |
| AMOUNT PAID |            |

0041216091904 00000129825

114



Hillsborough  
County Florida

| CUSTOMER NAME  | ACCOUNT NUMBER | BILL DATE  | DUE DATE   |
|----------------|----------------|------------|------------|
| PARK PLACE CDD | 4439866474     | 09/23/2022 | 10/14/2022 |

Service Address: 14658 CANOPY DR

S-Page 1 of 1

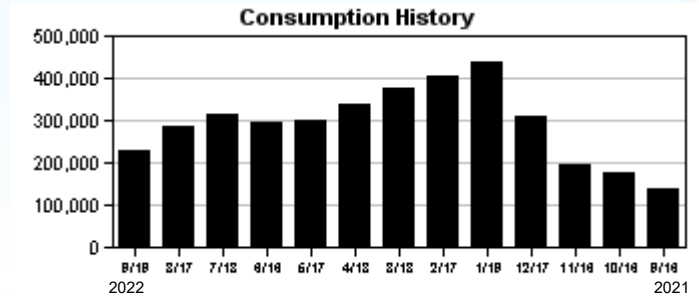
| METER NUMBER | PREVIOUS DATE | PREVIOUS READ | PRESENT DATE | PRESENT READ | CONSUMPTION | READ TYPE | METER DESCRIPTION |
|--------------|---------------|---------------|--------------|--------------|-------------|-----------|-------------------|
| 17561145     | 08/17/2022    | 444660        | 09/19/2022   | 446955       | 229500 GAL  | ACTUAL    | RECLAIM           |

#### Service Address Charges

Reclaimed Water Charge \$45.12

#### Summary of Account Charges

|                          |                |
|--------------------------|----------------|
| Previous Balance         | \$58.27        |
| Net Payments - Thank You | \$-58.27       |
| Total Account Charges    | <b>\$45.12</b> |
| <b>AMOUNT DUE</b>        | <b>\$45.12</b> |



Hillsborough  
County Florida

Make checks payable to: **BOCC**

ACCOUNT NUMBER: 4439866474



#### ELECTRONIC PAYMENTS BY CHECK OR

Automated Payment Line: (813) 276 8526

Internet Payments: [HCFLGov.net/WaterBill](http://HCFLGov.net/WaterBill)

Additional Information: [HCFLGov.net/Water](http://HCFLGov.net/Water)



**THANK YOU!**



PARK PLACE CDD  
C/O MERITUS  
2005 PAN AM CIRCLE SUITE 300  
TAMPA FL 33607-6008

540 8

|             |            |
|-------------|------------|
| DUE DATE    | 10/14/2022 |
| AMOUNT DUE  | \$45.12    |
| AMOUNT PAID |            |

0044398664746 00000045120

115





Hillsborough  
County Florida

| CUSTOMER NAME  | ACCOUNT NUMBER | BILL DATE  | DUE DATE   |
|----------------|----------------|------------|------------|
| PARK PLACE CDD | 4478300000     | 09/23/2022 | 10/14/2022 |

Service Address: 11648 ECCLESIA DR

S-Page 1 of 1

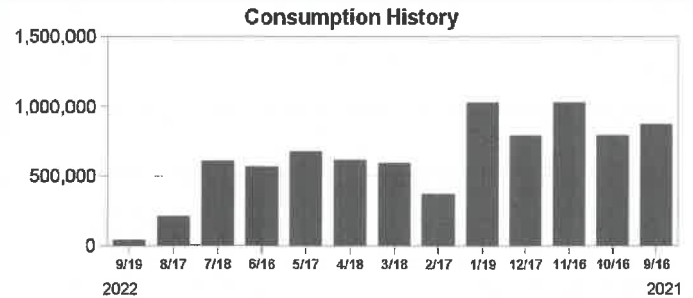
| METER NUMBER | PREVIOUS DATE | PREVIOUS READ | PRESENT DATE | PRESENT READ | CONSUMPTION | READ TYPE | METER DESCRIPTION |
|--------------|---------------|---------------|--------------|--------------|-------------|-----------|-------------------|
| 61064416     | 08/17/2022    | 292963        | 09/19/2022   | 293367       | 40400 GAL   | ACTUAL    | RECLAIM           |

**Service Address Charges**

Reclaimed Water Charge \$10.58

**Summary of Account Charges**

|                          |                |
|--------------------------|----------------|
| Previous Balance         | \$34.61        |
| Net Payments - Thank You | \$-34.61       |
| Total Account Charges    | \$10.58        |
| <b>AMOUNT DUE</b>        | <b>\$10.58</b> |



Hillsborough  
County Florida

Make checks payable to: **BOCC**

ACCOUNT NUMBER: 4478300000



OCT 03 2022

**ELECTRONIC PAYMENTS BY CHECK OR**

Automated Payment Line: (813) 276 8526  
Internet Payments: [HCFLGov.net/WaterBill](http://HCFLGov.net/WaterBill)  
Additional Information: [HCFLGov.net/Water](http://HCFLGov.net/Water)



**THANK YOU!**



PARK PLACE CDD  
2005 PAN AM CIR STE 300  
TAMPA FL 33607-6008

1,258 8

|                    |            |
|--------------------|------------|
| <b>DUE DATE</b>    | 10/14/2022 |
| <b>AMOUNT DUE</b>  | \$10.58    |
| <b>AMOUNT PAID</b> |            |

0044783000001 00000010587<sup>116</sup>



## ACCOUNT INVOICE

tampaelectric.com



Statement Date: 09/26/2022

Account: 221006629085

PARK PLACE CDD  
11741 CITRUS PARK DR MP  
TAMPA, FL 33626-0000

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$379.30   |
| Total amount due:        | \$379.30   |
| Payment Due By:          | 10/17/2022 |

### Your Account Summary

|  |                 |
|--|-----------------|
| Previous Amount Due                      | \$360.80        |
| Payment(s) Received Since Last Statement | -\$360.80       |
| <b>Current Month's Charges</b>           | <b>\$379.30</b> |
| <b>Total Amount Due</b>                  | <b>\$379.30</b> |

## An audit you can look forward to.

Schedule a FREE energy audit and one of our certified auditors will identify ways you can save energy *and* money.

[tampaelectric.com/bizsave](http://tampaelectric.com/bizsave)

Amount not paid by due date may be assessed a late payment charge and an additional deposit.

## Our outage map is refreshed every five minutes.

We're in the heart of storm season. Report outages from our enhanced outage map and get the latest on outage information and restoration updates.

[tampaelectric.com/outagemap](http://tampaelectric.com/outagemap)



To ensure prompt credit, please return stub portion of this bill with your payment. Make checks payable to TECO.



### WAYS TO PAY YOUR BILL



See reverse side for more information

Account: 221006629085

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$379.30   |
| Total amount due:        | \$379.30   |
| Payment Due By:          | 10/17/2022 |

**Amount Enclosed**

\$

608174025088



PARK PLACE CDD  
2005 PAN AM CIR, STE 300  
TAMPA, FL 33607

MAIL PAYMENT TO:  
TECO  
P.O. BOX 31318  
TAMPA, FL 33631-3318

6081740250882210066290850000000379302



Account: **221006629085**  
 Statement Date: 09/26/2022  
 Current month's charges due 10/17/2022

## Details of Charges – Service from 08/19/2022 to 09/20/2022

Service for: 11741 CITRUS PARK DR MP, TAMPA, FL 33626-0000

Rate Schedule: General Service - Non Demand

| Meter Number | Read Date  | Current Reading | - | Previous Reading | = | Total Used | Multiplier | Billing Period |
|--------------|------------|-----------------|---|------------------|---|------------|------------|----------------|
| 1000236552   | 09/20/2022 | 74,083          |   | 71,191           |   | 2,892 kWh  | 1          | 33 Days        |

|                                   |                           |          |
|-----------------------------------|---------------------------|----------|
| Daily Basic Service Charge        | 33 days @ \$0.75000       | \$24.75  |
| Energy Charge                     | 2,892 kWh @ \$0.07089/kWh | \$205.01 |
| Fuel Charge                       | 2,892 kWh @ \$0.04126/kWh | \$119.32 |
| Storm Protection Charge           | 2,892 kWh @ \$0.00315/kWh | \$9.11   |
| Clean Energy Transition Mechanism | 2,892 kWh @ \$0.00402/kWh | \$11.63  |
| Florida Gross Receipt Tax         |                           | \$9.48   |

**Electric Service Cost**

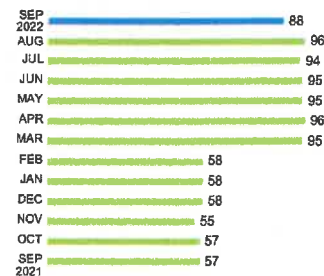
**\$379.30**

**Total Current Month's Charges**

**\$379.30**

### Tampa Electric Usage History

Kilowatt-Hours Per Day  
(Average)



00002100-0005048-Page 7 of 8



PARK PLACE CDD  
11698 CITRUS PARK DR  
TAMPA, FL 33626-0000

Statement Date: 09/26/2022  
Account: 221006630208

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$46.06    |
| Total amount due:        | \$46.06    |
| Payment Due By:          | 10/17/2022 |

**Your Account Summary**

|  |                |
|--|----------------|
| Previous Amount Due                      | \$38.81        |
| Payment(s) Received Since Last Statement | -\$38.81       |
| <b>Current Month's Charges</b>           | <b>\$46.06</b> |
| <b>Total Amount Due</b>                  | <b>\$46.06</b> |

**An audit you can look forward to.**

Schedule a FREE energy audit and one of our certified auditors will identify ways you can save energy and money.  
[tampaelectric.com/bizsave](http://tampaelectric.com/bizsave)

Amount not paid by due date may be assessed a late payment charge and an additional deposit.

**Our outage map is refreshed every five minutes.**

We're in the heart of storm season. Report outages from our enhanced outage map and get the latest on outage information and restoration updates.

[tampaelectric.com/outagemap](http://tampaelectric.com/outagemap)



To ensure prompt credit, please return stub portion of this bill with your payment. Make checks payable to TECO.



**WAYS TO PAY YOUR BILL**



See reverse side for more information

Account: 221006630208

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$46.06    |
| Total amount due:        | \$46.06    |
| Payment Due By:          | 10/17/2022 |

**Amount Enclosed**

\$

608174025089

00002100 02 AV 0.45 93607 FTECO109262222500510 00000 02 01000000 007 02 8856 004



PARK PLACE CDD  
2005 PAN AM CIR, STE 300  
TAMPA, FL 33607-6008

MAIL PAYMENT TO:  
TECO  
P.O. BOX 31318  
TAMPA, FL 33631-3318

6081740250892210066302080000000046060



**Account:** 221006630208  
**Statement Date:** 09/26/2022  
**Current month's charges due** 10/17/2022

## Details of Charges – Service from 08/19/2022 to 09/20/2022

Service for: 11698 CITRUS PARK DR, TAMPA, FL 33626-0000

Rate Schedule: General Service - Non Demand

| Meter Number | Read Date  | Current Reading | - | Previous Reading | = | Total Used | Multiplier | Billing Period |
|--------------|------------|-----------------|---|------------------|---|------------|------------|----------------|
| 1000265065   | 09/20/2022 | 6,885           |   | 6,716            |   | 169 kWh    | 1          | 33 Days        |

|                                   |                         |         |
|-----------------------------------|-------------------------|---------|
| Daily Basic Service Charge        | 33 days @ \$0.75000     | \$24.75 |
| Energy Charge                     | 169 kWh @ \$0.07089/kWh | \$11.98 |
| Fuel Charge                       | 169 kWh @ \$0.04126/kWh | \$6.97  |
| Storm Protection Charge           | 169 kWh @ \$0.00315/kWh | \$0.53  |
| Clean Energy Transition Mechanism | 169 kWh @ \$0.00402/kWh | \$0.68  |
| Florida Gross Receipt Tax         |                         | \$1.15  |

**Electric Service Cost**

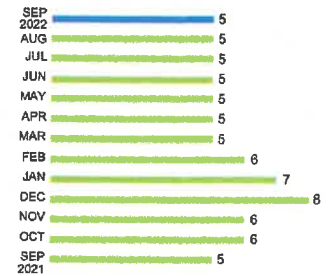
**\$46.06**

**Total Current Month's Charges**

**\$46.06**

### Tampa Electric Usage History

Kilowatt-Hours Per Day (Average)



Statement Date: 09/26/2022

Account: 221007862958

PARK PLACE CDD  
C/O PARK PLACE CDD  
11232 BLACKSMITH DR, PUMP  
TAMPA, FL 33626-2674

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$240.53   |
| Total amount due:        | \$240.53   |
| Payment Due By:          | 10/17/2022 |

**Your Account Summary**

|  |                 |
|--|-----------------|
| Previous Amount Due                      | \$211.20        |
| Payment(s) Received Since Last Statement | -\$211.20       |
| <b>Current Month's Charges</b>           | <b>\$240.53</b> |
| <b>Total Amount Due</b>                  | <b>\$240.53</b> |

**An audit you can look forward to.**

Schedule a FREE energy audit and one of our certified auditors will identify ways you can save energy and money.

[tampaelectric.com/bizsave](http://tampaelectric.com/bizsave)

Amount not paid by due date may be assessed a late payment charge and an additional deposit.

**Our outage map is refreshed every five minutes.**

We're in the heart of storm season. Report outages from our enhanced outage map and get the latest on outage information and restoration updates.

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**WAYS TO PAY YOUR BILL**



See reverse side for more information

Account: 221007862958

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$240.53   |
| Total amount due:        | \$240.53   |
| Payment Due By:          | 10/17/2022 |

**Amount Enclosed** \$

626692511532

00005806 01 AV 0.45 33607 FTECO109262222500510 00000 01 01000000 001 02 5806 002



PARK PLACE CDD  
C/O PARK PLACE CDD  
2005 PAN AM CIR, STE 700  
TAMPA, FL 33607-2380

MAIL PAYMENT TO:  
TECO  
P.O. BOX 31318  
TAMPA, FL 33631-3318

62669251153222100786295800000000240537



**Account:** 221007862958  
**Statement Date:** 09/26/2022  
**Current month's charges due** 10/17/2022

## Details of Charges – Service from 08/19/2022 to 09/20/2022

Service for: 11232 BLACKSMITH DR, PUMP, TAMPA, FL 33626-2674

Rate Schedule: General Service - Non Demand

Meter Location: FOUNTAIN

| Meter Number | Read Date  | Current Reading | - | Previous Reading | = | Total Used | Multiplier | Billing Period |
|--------------|------------|-----------------|---|------------------|---|------------|------------|----------------|
| 1000679633   | 09/20/2022 | 45,638          |   | 43,880           |   | 1,758 kWh  | 1          | 33 Days        |

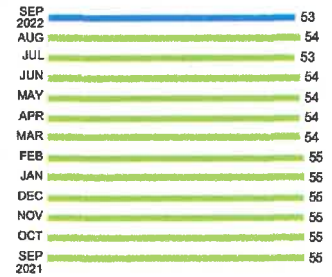
|                                   |                           |                 |
|-----------------------------------|---------------------------|-----------------|
| Daily Basic Service Charge        | 33 days @ \$0.75000       | \$24.75         |
| Energy Charge                     | 1,758 kWh @ \$0.07089/kWh | \$124.62        |
| Fuel Charge                       | 1,758 kWh @ \$0.04126/kWh | \$72.54         |
| Storm Protection Charge           | 1,758 kWh @ \$0.00315/kWh | \$5.54          |
| Clean Energy Transition Mechanism | 1,758 kWh @ \$0.00402/kWh | \$7.07          |
| Florida Gross Receipt Tax         |                           | \$6.01          |
| <b>Electric Service Cost</b>      |                           | <b>\$240.53</b> |

**Total Current Month's Charges**

**\$240.53**

### Tampa Electric Usage History

Kilowatt-Hours Per Day (Average)



Statement Date: 09/26/2022

Account: 221008555171

PARK PLACE CDD  
11206 CAVALIER PL, A  
TAMPA, FL 33626-2676

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$106.15   |
| Total amount due:        | \$106.15   |
| Payment Due By:          | 10/17/2022 |

## Your Account Summary

|  |                 |
|--|-----------------|
| Previous Amount Due                      | \$107.16        |
| Payment(s) Received Since Last Statement | -\$107.16       |
| <b>Current Month's Charges</b>           | <b>\$106.15</b> |
| <b>Total Amount Due</b>                  | <b>\$106.15</b> |

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We're in the heart of storm season. Report outages from our enhanced outage map and get the latest on outage information and restoration updates.

[tampaelectric.com/outagemap](http://tampaelectric.com/outagemap)



To ensure prompt credit, please return stub portion of this bill with your payment. Make checks payable to TECO.



### WAYS TO PAY YOUR BILL



See reverse side for more information

Account: 221008555171

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$106.15   |
| Total amount due:        | \$106.15   |
| Payment Due By:          | 10/17/2022 |

**Amount Enclosed**

631630767840

00001951 01 AV 0.45 33607 FTECO108262222500510 00000 02 01000000 007 02 8707 002



PARK PLACE CDD  
2005 PAN AM CIR, STE 300  
TAMPA, FL 33607-6008

MAIL PAYMENT TO:  
TECO  
P.O. BOX 31318  
TAMPA, FL 33631-3318

63163076784022100855517100000000106150



**Account:** 221008555171  
**Statement Date:** 09/26/2022  
**Current month's charges due** 10/17/2022

## Details of Charges – Service from 08/19/2022 to 09/20/2022

Service for: 11206 CAVALIER PL, A, TAMPA, FL 33626-2676

**Rate Schedule: General Service - Non Demand**

| Meter Number | Read Date  | Current Reading | - | Previous Reading | = | Total Used | Multiplier | Billing Period |
|--------------|------------|-----------------|---|------------------|---|------------|------------|----------------|
| 1000845980   | 09/20/2022 | 4,933           |   | 4,273            |   | 660 kWh    | 1          | 33 Days        |

|                                   |                         |         |
|-----------------------------------|-------------------------|---------|
| Daily Basic Service Charge        | 33 days @ \$0.75000     | \$24.75 |
| Energy Charge                     | 660 kWh @ \$0.07089/kWh | \$46.79 |
| Fuel Charge                       | 660 kWh @ \$0.04126/kWh | \$27.23 |
| Storm Protection Charge           | 660 kWh @ \$0.00315/kWh | \$2.08  |
| Clean Energy Transition Mechanism | 660 kWh @ \$0.00402/kWh | \$2.65  |
| Florida Gross Receipt Tax         |                         | \$2.65  |

**Electric Service Cost**

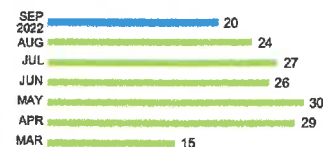
**\$106.15**

**Total Current Month's Charges**

**\$106.15**

### Tampa Electric Usage History

Kilowatt-Hours Per Day  
(Average)



00001951-0004546-Page 3 of 4



Statement Date: 10/05/22  
Account: 311000010091

ACH

PARK PLACE CDD  
2005 PAN AM CIR, STE 300  
TAMPA, FL 33607



|                          |            |
|--------------------------|------------|
| Current month's charges: | \$4,890.95 |
| Total amount due:        | \$4,890.95 |
| Payment Due By:          | 10/19/22   |

## Your Account Summary

|   |                   |
|---|-------------------|
| Previous Amount Due                       | \$4,869.71        |
| Payment(s) Received Since Last Statement  | -\$4,869.71       |
| Credit balance after payments and credits | \$0.00            |
| <b>Current Month's Charges</b>            | <b>\$4,890.95</b> |
| <b>Total Amount Due</b>                   | <b>\$4,890.95</b> |

**DO NOT PAY. Your account will be drafted on 10/19/22**

## Things to do:

- ✓ Read new bill carefully
- ✓ Make note of new account number
- ✓ Check out guide on last page
- ✓ Register at [tecoaccount.com](http://tecoaccount.com)

Amount not paid by due date may be assessed a late payment charge and an additional deposit.



## More options for you.

Visit [tecoaccount.com](http://tecoaccount.com) to view and pay your bill, manage your information and more, 24/7 from any device.

To ensure prompt credit, please return stub portion of this bill with your payment. Make checks payable to TECO.



### WAYS TO PAY YOUR BILL



See reverse side for more information

Account: 311000010091

|                          |            |
|--------------------------|------------|
| Current month's charges: | \$4,890.95 |
| Total amount due:        | \$4,890.95 |
| Payment Due By:          | 10/19/22   |

**Amount Enclosed** \$

700125002740 DO NOT PAY, YOUR ACCOUNT WILL BE DRAFTED ON 10/19/22

PARK PLACE CDD  
2005 PAN AM CIR, STE 300  
TAMPA, FL 33607-6008

MAIL PAYMENT TO  
TECO  
P.O. BOX 31318  
TAMPA, FL 33631-3318



## Contact Information

### Residential Customer Care

813-223-0800 (Hillsborough County)  
863-299-0800 (Polk County)  
888-223-0800 (All other counties)

### Commercial Customer Care

866-832-6249

### Hearing Impaired/TTY

711

### Power Outages Toll-Free

877-588-1010

### Energy-Saving Programs

813-275-3909

### Mail Payments to

TECO  
P.O. Box 31318  
Tampa, FL 33631-3318

### All Other Correspondence

Tampa Electric  
P.O. Box 111  
Tampa, FL 33601-0111

## Understanding Your Electric Charges

**Average kWh per day** – The average amount of electricity purchased per day.

**Basic Service Charge** – A fixed daily amount that covers the cost to provide service to your location. This charge is billed monthly regardless of any electricity used.

**Bright Choices™** – The associated fees and charges for leased outdoor lighting services.

**Budget Billing** – Optional plan averages your home's last 12 monthly billing periods so you pay the same amount for your service each month.

**Clean Energy Transition Mechanism (CETM)** – A charge to recover costs associated with electric meter upgrades and the closing of certain coal generating plants to support Tampa Electric's transition to produce clean energy.

**Energy Charge** – For residential, small commercial and lighting customers, includes the cost (except fuel) of producing and delivering the electricity you purchased, including conservation, environmental and capacity cost recovery charges. For other customers, the three cost recovery charges appear as separate line items.

**Estimated** – If Tampa Electric was unable to read your meter, "ESTIMATED" will appear. Your meter will be read next month, and any difference will be adjusted accordingly.

**Florida Gross Receipts Tax** – A tax is imposed on gross receipts from utility services that are delivered to retail customers in Florida, in accordance with Chapter 203 of the Florida Statutes. Utility companies collect the tax from all customers, unless exempt, and remit to the state.

**Florida State Tax** – A tax imposed on every person who engages in the business of selling or renting tangible personal property at retail in the state, in accordance with Chapter 212 of the Florida Statutes.

**Franchise Fee** – A fee levied by a municipality for the right to utilize public property to provide electric service. The fee is collected by Tampa Electric and paid to the municipality.

**Fuel Charge** – Cost of fuel used to produce electricity you purchased. Fuel costs are passed through from fuel suppliers to our customers with no markup or profit to Tampa Electric.

For more information about your bill, please visit [tampaelectric.com](http://tampaelectric.com).

**Kilowatt-Hours (kWh)** – The basic measurement of electric energy use.

**Late Payment Charge** – For past due amounts more than \$10, the late payment charge is the greater of \$5 or 1.5% of the past due amount. For past due amounts of \$10 or less, the late payment charge is 1.5% of the past due amount.

**Municipal Public Service Tax** – Many municipalities levy a tax on the electricity you use. It is collected by Tampa Electric and paid to the municipality.

**Past Due** – Previous charges that are past due are subject to a late payment charge fee and may result in disconnection.

**Rate Schedule** – The amount (rate) you pay depends on your customer category. The cost of providing service varies with the customer group.

**Share** – A Tampa Electric program administered by the Salvation Army and the Catholic Charities Diocese of St. Petersburg that helps pay energy bills of customers in need. If you choose to contribute, your contribution is tax deductible and is matched by Tampa Electric.

**Storm Protection Charge** – The cost of additional hardening efforts to further protect the power grid from hurricanes or other extreme weather events.

**Sun Select™** – The cost of producing energy you purchased from dedicated solar generation facilities. You pay no fuel charge for the Sun Select portion of your bill.

**Sun to Go™** – The amount of electricity purchased from solar generating sources serving the Sun to Go program, which provides optional renewable energy purchases in 200 kWh blocks.

**Total Amount Due** – This month's charges will be past due after the date shown. THIS DATE DOES NOT EXTEND THE DATE ON ANY PREVIOUS BALANCE. It's important that you pay your bill before this date to avoid interruption of service.

**Zap Cap Systems®** – Surge protection for your home or business sold separately as a non-energy charge.

### Your payment options are:

- Schedule free one-time or recurring payments at [tecoaccount.com](http://tecoaccount.com) using a checking or savings account.
- Mail your payment in the enclosed envelope. Please allow sufficient time for delivery.
- Pay in person at an authorized Western Union payment location, which can be found at [tampaelectric.com](http://tampaelectric.com).
- Pay by credit card using KUBRA EZ-PAY at [tecoaccount.com](http://tecoaccount.com) or by calling 866-689-6469.  
(A convenience fee will be charged to your bank account or credit card.)

When making your payment, please have your bill or account number available.

**Please note:** If you choose to pay your bill at a location not listed on our website or provided by Tampa Electric, you are paying someone who is not authorized to act as a payment agent of Tampa Electric. You bear the risk that this unauthorized party will not relay the payment to Tampa Electric and do so in a timely fashion. Tampa Electric is not responsible for payments made to unauthorized agents, including their failure to deliver or timely deliver the payment to us. Such failures may result in late payment charges to your account or service disconnection.

## Billed Individual Accounts



00000032-0000344-Page 3 of 20

| ACCOUNT NAME   | ACCOUNT NUMBER | ADDRESS   | AMOUNT    |
|----------------|----------------|---|-----------|
| PARK PLACE CDD | 211007038386   | 11742 CITRUS PARK DR<br>TAMPA, FL 33626-0000      | \$35.06   |
| MANDOLIN HOA   | 211015021994   | NOELL PURCELL D&F, PH 1<br>TAMPA, FL 33625-0000   | \$1358.50 |
| MANDOLIN HOA   | 211015022109   | CITRUS PARK BL MARINET DR<br>TAMPA, FL 33625-0000 | \$1973.44 |
| PARK PLACE CDD | 211015022232   | MANDOLIN PHASE 2A<br>TAMPA, FL 33625-0000         | \$312.50  |
| PARK PLACE CDD | 211015022349   | MANDOLIN PHASE 3<br>TAMPA, FL 33625-0000          | \$276.75  |
| PARK PLACE CDD | 211015022463   | MANDOLIN PHASE 2B<br>TAMPA, FL 33625-0000         | \$414.04  |
| PARK PLACE CDD | 211015022745   | 14719 BRICK PL<br>TAMPA, FL 33626-0000            | \$225.15  |
| PARK PLACE CDD | 211015022836   | 14729 CANOPY DR<br>TAMPA, FL 33626-3356           | \$45.51   |
| PARK PLACE CDD | 211015022968   | 14662 CANOPY DR<br>TAMPA, FL 33626-3348           | \$36.57   |
| PARK PLACE CDD | 211015023099   | 11513 SPLENDID LN<br>TAMPA, FL 33626-3366         | \$59.34   |
| PARK PLACE CDD | 211015023214   | 14691 COTSWOLDS DR LGT<br>TAMPA, FL 33626-0000    | \$67.18   |
| PARK PLACE CDD | 211015023339   | 11562 FOUNTAINHEAD DR<br>TAMPA, FL 33626-3321     | \$38.47   |
| PARK PLACE CDD | 211015023446   | 14572 COTSWOLDS DR<br>TAMPA, FL 33626-0000        | \$48.44   |





# ACCOUNT INVOICE

tampaelectric.com

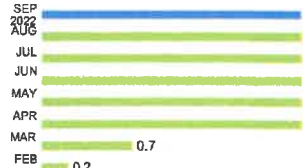


**Account:** 211007038386  
**Statement Date:** 09/30/22

## Details of Charges – Service from 08/19/22 to 09/20/22

Service for: 11742 CITRUS PARK DR, TAMPA, FL 33626-0000

**Rate Schedule: General Service - Non Demand**

| Meter Number                            | Read Date | Current Reading | -                      | Previous Reading | = | Total Used     | Multiplier  | Billing Period |
|---|-----------|-----------------|------------------------|------------------|---|----------------|---|----------------|
| 1000265066                              | 09/20/22  | 2,133           |                        | 2,054            |   | 79 kWh         | 1   | 33 Days        |
| Daily Basic Service Charge              |           |                 | 33 days @ \$0.75000    |                  |   | \$24.75        | <b>Tampa Electric Usage History</b><br><br>Kilowatt-Hours Per Day (Average)<br> |                |
| Energy Charge                           |           |                 | 79 kWh @ \$0.07089/kWh |                  |   | \$5.60         |   |                |
| Fuel Charge                             |           |                 | 79 kWh @ \$0.04126/kWh |                  |   | \$3.26         |   |                |
| Storm Protection Charge                 |           |                 | 79 kWh @ \$0.00315/kWh |                  |   | \$0.25         |   |                |
| Clean Energy Transition Mechanism       |           |                 | 79 kWh @ \$0.00402/kWh |                  |   | \$0.32         |   |                |
| Florida Gross Receipt Tax               |           |                 |                        |                  |   | \$0.88         |   |                |
| <b>Electric Service Cost</b>            |           |                 |                        |                  |   | <b>\$35.06</b> |   |                |
| <b>Current Month's Electric Charges</b> |           |                 |                        |                  |   | <b>\$35.06</b> |   |                |



## ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015021994  
**Statement Date:** 09/30/22



### Details of Charges – Service from 08/19/22 to 09/20/22

Service for: NOELL PURCELL D&F, PH 1, TAMPA, FL 33625-0000

#### Rate Schedule: Lighting Service

#### Lighting Service Items LS-1 (Bright Choices) for 33 days

|                                   |                          |          |
|-----------------------------------|--------------------------|----------|
| Lighting Energy Charge            | 1978 kWh @ \$0.03102/kWh | \$61.36  |
| Fixture & Maintenance Charge      | 23 Fixtures              | \$495.88 |
| Lighting Pole / Wire              | 23 Poles                 | \$695.80 |
| Lighting Fuel Charge              | 1978 kWh @ \$0.04060/kWh | \$80.31  |
| Storm Protection Charge           | 1978 kWh @ \$0.01028/kWh | \$20.33  |
| Clean Energy Transition Mechanism | 1978 kWh @ \$0.00033/kWh | \$0.65   |
| Florida Gross Receipt Tax         |                          | \$4.17   |

#### Lighting Charges

**\$1,358.50**

#### Current Month's Electric Charges

**\$1,358.50**

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## ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015022109  
**Statement Date:** 09/30/22

### Details of Charges – Service from 08/19/22 to 09/20/22

Service for: CITRUS PARK BL MARINET DR, TAMPA, FL 33625-0000

#### Rate Schedule: Lighting Service

#### Lighting Service Items LS-1 (Bright Choices) for 33 days

|                                   |                          |           |
|-----------------------------------|--------------------------|-----------|
| Lighting Energy Charge            | 1052 kWh @ \$0.03102/kWh | \$32.63   |
| Fixture & Maintenance Charge      | 43 Fixtures              | \$787.35  |
| Lighting Pole / Wire              | 43 Poles                 | \$1097.37 |
| Lighting Fuel Charge              | 1052 kWh @ \$0.04060/kWh | \$42.71   |
| Storm Protection Charge           | 1052 kWh @ \$0.01028/kWh | \$10.81   |
| Clean Energy Transition Mechanism | 1052 kWh @ \$0.00033/kWh | \$0.35    |
| Florida Gross Receipt Tax         |                          | \$2.22    |

#### Lighting Charges

**\$1,973.44**

#### Current Month's Electric Charges

**\$1,973.44**

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## ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015022232  
**Statement Date:** 09/30/22

### Details of Charges – Service from 08/19/22 to 09/20/22

Service for: MANDOLIN PHASE 2A, TAMPA, FL 33625-0000

#### Rate Schedule: Lighting Service

#### Lighting Service Items LS-1 (Bright Choices) for 33 days

|                                   |                         |          |
|-----------------------------------|-------------------------|----------|
| Lighting Energy Charge            | 183 kWh @ \$0.03102/kWh | \$5.68   |
| Fixture & Maintenance Charge      | 7 Fixtures              | \$118.21 |
| Lighting Pole / Wire              | 7 Poles                 | \$178.85 |
| Lighting Fuel Charge              | 183 kWh @ \$0.04060/kWh | \$7.43   |
| Storm Protection Charge           | 183 kWh @ \$0.01028/kWh | \$1.88   |
| Clean Energy Transition Mechanism | 183 kWh @ \$0.00033/kWh | \$0.06   |
| Florida Gross Receipt Tax         |                         | \$0.39   |

#### Lighting Charges

**\$312.50**

#### Current Month's Electric Charges

**\$312.50**

00000032-0000345-Page 8 of 20





## ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015022349  
**Statement Date:** 09/30/22

### Details of Charges – Service from 08/19/22 to 09/20/22

Service for: MANDOLIN PHASE 3, TAMPA, FL 33625-0000

#### Rate Schedule: Lighting Service

#### Lighting Service Items LS-1 (Bright Choices) for 33 days

|                                   |                         |          |
|-----------------------------------|-------------------------|----------|
| Lighting Energy Charge            | 191 kWh @ \$0.03102/kWh | \$5.92   |
| Fixture & Maintenance Charge      | 6 Fixtures              | \$107.36 |
| Lighting Pole / Wire              | 6 Poles                 | \$153.30 |
| Lighting Fuel Charge              | 191 kWh @ \$0.04060/kWh | \$7.75   |
| Storm Protection Charge           | 191 kWh @ \$0.01028/kWh | \$1.96   |
| Clean Energy Transition Mechanism | 191 kWh @ \$0.00033/kWh | \$0.06   |
| Florida Gross Receipt Tax         |                         | \$0.40   |

#### Lighting Charges

**\$276.75**

#### Current Month's Electric Charges

**\$276.75**

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## ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015022463  
**Statement Date:** 09/30/22

### Details of Charges – Service from 08/19/22 to 09/20/22

Service for: MANDOLIN PHASE 2B, TAMPA, FL 33625-0000

#### Rate Schedule: Lighting Service

#### Lighting Service Items LS-1 (Bright Choices) for 33 days

|                                   |                         |          |
|-----------------------------------|-------------------------|----------|
| Lighting Energy Charge            | 246 kWh @ \$0.03102/kWh | \$7.63   |
| Fixture & Maintenance Charge      | 9 Fixtures              | \$163.34 |
| Lighting Pole / Wire              | 9 Poles                 | \$229.95 |
| Lighting Fuel Charge              | 246 kWh @ \$0.04060/kWh | \$9.99   |
| Storm Protection Charge           | 246 kWh @ \$0.01028/kWh | \$2.53   |
| Clean Energy Transition Mechanism | 246 kWh @ \$0.00033/kWh | \$0.08   |
| Florida Gross Receipt Tax         |                         | \$0.52   |

#### Lighting Charges

**\$414.04**

#### Current Month's Electric Charges

**\$414.04**

00000032-0000347-Page 11 of 20





# ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015022745  
**Statement Date:** 09/30/22

## Details of Charges – Service from 08/23/22 to 09/22/22

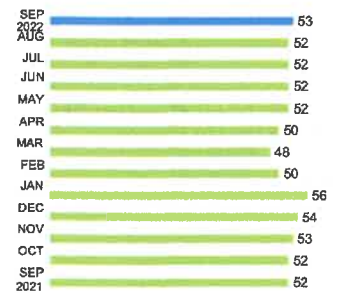
Service for: 14719 BRICK PL, TAMPA, FL 33626-0000

**Rate Schedule: General Service - Non Demand**

| Meter Number                            | Read Date | Current Reading | -                   | Previous Reading | = | Total Used      |
|---|-----------|-----------------|---------------------|------------------|---|-----------------|
| 1000152133                              | 09/22/22  | 58,849          |                     | 57,204           |   | 1,645 kWh       |
| Daily Basic Service Charge              |           |                 | 31 days @ \$0.75000 |                  |   | \$23.25         |
| Energy Charge                           |           | 1,645 kWh       | @ \$0.07089/kWh     |                  |   | \$116.61        |
| Fuel Charge                             |           | 1,645 kWh       | @ \$0.04126/kWh     |                  |   | \$67.87         |
| Storm Protection Charge                 |           | 1,645 kWh       | @ \$0.00315/kWh     |                  |   | \$5.18          |
| Clean Energy Transition Mechanism       |           | 1,645 kWh       | @ \$0.00402/kWh     |                  |   | \$6.61          |
| Florida Gross Receipt Tax               |           |                 |                     |                  |   | \$5.63          |
| <b>Electric Service Cost</b>            |           |                 |                     |                  |   | <b>\$225.15</b> |
| <b>Current Month's Electric Charges</b> |           |                 |                     |                  |   | <b>\$225.15</b> |

### Tampa Electric Usage History

Kilowatt-Hours Per Day  
(Average)



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**Account:** 211015022836  
**Statement Date:** 09/30/22

**Details of Charges – Service from 08/23/22 to 09/22/22**

Service for: 14729 CANOPY DR, TAMPA, FL 33626-3356

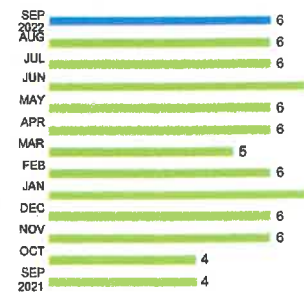
**Rate Schedule: General Service - Non Demand**

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| Meter Number                            | Read Date | Current Reading | - | Previous Reading | = | Total Used              | Multiplier | Billing Period |
|---|-----------|-----------------|---|------------------|---|-------------------------|------------|----------------|
| 1000206733                              | 09/22/22  | 6,070           |   | 5,893            |   | 177 kWh                 | 1          | 31 Days        |
| Daily Basic Service Charge              |           |                 |   |                  |   | 31 days @ \$0.75000     |            | \$23.25        |
| Energy Charge                           |           |                 |   |                  |   | 177 kWh @ \$0.07089/kWh |            | \$12.55        |
| Fuel Charge                             |           |                 |   |                  |   | 177 kWh @ \$0.04126/kWh |            | \$7.30         |
| Storm Protection Charge                 |           |                 |   |                  |   | 177 kWh @ \$0.00315/kWh |            | \$0.56         |
| Clean Energy Transition Mechanism       |           |                 |   |                  |   | 177 kWh @ \$0.00402/kWh |            | \$0.71         |
| Florida Gross Receipt Tax               |           |                 |   |                  |   |                         |            | \$1.14         |
| <b>Electric Service Cost</b>            |           |                 |   |                  |   |                         |            | <b>\$45.51</b> |
| <b>Current Month's Electric Charges</b> |           |                 |   |                  |   |                         |            | <b>\$45.51</b> |

**Tampa Electric Usage History**

Kilowatt-Hours Per Day  
(Average)







# ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015022968  
**Statement Date:** 09/30/22

## Details of Charges – Service from 08/23/22 to 09/22/22

Service for: 14662 CANOPY DR, TAMPA, FL 33626-3348

**Rate Schedule: General Service - Non Demand**

Meter Location: Area Light

| Meter Number                      | Read Date | Current Reading | -                       | Previous Reading | =       | Total Used  | Multiplier | Billing Period |  |
|-----------------------------------|-----------|-----------------|-------------------------|------------------|---------|---|------------|----------------|--|
| 1000198591                        | 09/22/22  | 4,142           |                         | 4,038            |         | 104 kWh   | 1          | 31 Days        |  |
| Daily Basic Service Charge        |           |                 | 31 days @ \$0.75000     |                  | \$23.25 | <div>Tampa Electric Usage History</div> <div>Kilowatt-Hours Per Day (Average)</div> <div><div>SEP 2022</div><div>AUG</div><div>JUL</div><div>JUN</div><div>MAY</div><div>APR</div><div>MAR</div><div>FEB</div><div>JAN</div><div>DEC</div><div>NOV</div><div>OCT</div><div>SEP 2021</div></div> <div><div>3</div><div>3</div><div>3</div><div>3</div><div>3</div><div>3</div><div>3</div><div>3</div><div>4</div><div>4</div><div>4</div><div>3</div><div>3</div></div> |            |                |  |
| Energy Charge                     |           |                 | 104 kWh @ \$0.07089/kWh |                  | \$7.37  |   |            |                |  |
| Fuel Charge                       |           |                 | 104 kWh @ \$0.04126/kWh |                  | \$4.29  |   |            |                |  |
| Storm Protection Charge           |           |                 | 104 kWh @ \$0.00315/kWh |                  | \$0.33  |   |            |                |  |
| Clean Energy Transition Mechanism |           |                 | 104 kWh @ \$0.00402/kWh |                  | \$0.42  |   |            |                |  |
| Florida Gross Receipt Tax         |           |                 |                         |                  | \$0.91  |   |            |                |  |
| Electric Service Cost             |           |                 |                         |                  |         | \$36.57   |            |                |  |
| Current Month's Electric Charges  |           |                 |                         |                  |         | \$36.57   |            |                |  |



# ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015023099  
**Statement Date:** 09/30/22

## Details of Charges – Service from 08/23/22 to 09/22/22

Service for: 11513 SPLENDID LN, TAMPA; FL 33626-3366

**Rate Schedule: General Service - Non Demand**

00000032-0000349-Page 15 of 20

| Meter Number                            | Read Date | Current Reading | -                       | Previous Reading | = | Total Used     | Multiplier  | Billing Period |
|---|-----------|-----------------|-------------------------|------------------|---|----------------|---|----------------|
| 1000198613                              | 09/22/22  | 11,305          |                         | 11,015           |   | 290 kWh        | 1   | 31 Days        |
| Daily Basic Service Charge              |           |                 | 31 days @ \$0.75000     |                  |   | \$23.25        | <div>Tampa Electric Usage History</div> <div>Kilowatt-Hours Per Day (Average)</div> <div><div><div>SEP 2022</div><div>AUG</div><div>JUL</div><div>JUN</div><div>MAY</div><div>APR</div><div>MAR</div><div>FEB</div><div>JAN</div></div><div><div>9</div><div>9</div><div>9</div><div>9</div><div>8</div><div>9</div><div>9</div><div>9</div><div>10</div></div></div> |                |
| Energy Charge                           |           |                 | 290 kWh @ \$0.07089/kWh |                  |   | \$20.56        |   |                |
| Fuel Charge                             |           |                 | 290 kWh @ \$0.04126/kWh |                  |   | \$11.97        |   |                |
| Storm Protection Charge                 |           |                 | 290 kWh @ \$0.00315/kWh |                  |   | \$0.91         |   |                |
| Clean Energy Transition Mechanism       |           |                 | 290 kWh @ \$0.00402/kWh |                  |   | \$1.17         |   |                |
| Florida Gross Receipt Tax               |           |                 |                         |                  |   | \$1.48         |   |                |
| <b>Electric Service Cost</b>            |           |                 |                         |                  |   | <b>\$59.34</b> |   |                |
| <b>Current Month's Electric Charges</b> |           |                 |                         |                  |   | <b>\$59.34</b> |   |                |





# ACCOUNT INVOICE

tampaelectric.com



**Account:** 211015023214  
**Statement Date:** 09/30/22

## Details of Charges – Service from 08/23/22 to 09/22/22

Service for: 14691 COTSWOLDS DR LGT, TAMPA, FL 33626-0000

**Rate Schedule: General Service - Non Demand**

| Meter Number                      | Read Date           | Current Reading | -                       | Previous Reading | = | Total Used | Multiplier  | Billing Period |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
|-----------------------------------|---------------------|-----------------|-------------------------|------------------|---|------------|---|----------------|-------|---------------------|----------|----|-----|----|-----|----|-----|----|-----|---|-----|---|-----|---|-----|---|
| 1000180482                        | 09/22/22            | 10,158          |                         | 9,804            |   | 354 kWh    | 1   | 31 Days        |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| Daily Basic Service Charge        |                     |                 | 31 days @ \$0.75000     |                  |   | \$23.25    | <div>Tampa Electric Usage History</div> <div>Kilowatt-Hours Per Day (Average)</div> <table><thead><tr><th>Month</th><th>Average kWh Per Day</th></tr></thead><tbody><tr><td>SEP 2022</td><td>11</td></tr><tr><td>AUG</td><td>11</td></tr><tr><td>JUL</td><td>10</td></tr><tr><td>JUN</td><td>11</td></tr><tr><td>MAY</td><td>6</td></tr><tr><td>APR</td><td>5</td></tr><tr><td>MAR</td><td>5</td></tr><tr><td>FEB</td><td>6</td></tr></tbody></table> |                | Month | Average kWh Per Day | SEP 2022 | 11 | AUG | 11 | JUL | 10 | JUN | 11 | MAY | 6 | APR | 5 | MAR | 5 | FEB | 6 |
| Month                             | Average kWh Per Day |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| SEP 2022                          | 11                  |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| AUG                               | 11                  |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| JUL                               | 10                  |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| JUN                               | 11                  |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| MAY                               | 6                   |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| APR                               | 5                   |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| MAR                               | 5                   |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| FEB                               | 6                   |                 |                         |                  |   |            |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| Energy Charge                     |                     |                 | 354 kWh @ \$0.07089/kWh |                  |   | \$25.10    |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| Fuel Charge                       |                     |                 | 354 kWh @ \$0.04126/kWh |                  |   | \$14.61    |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| Storm Protection Charge           |                     |                 | 354 kWh @ \$0.00315/kWh |                  |   | \$1.12     |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| Clean Energy Transition Mechanism |                     |                 | 354 kWh @ \$0.00402/kWh |                  |   | \$1.42     |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| Florida Gross Receipt Tax         |                     |                 |                         |                  |   | \$1.68     |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| Electric Service Cost             |                     |                 |                         |                  |   | \$67.18    |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |
| Current Month's Electric Charges  |                     |                 |                         |                  |   | \$67.18    |   |                |       |                     |          |    |     |    |     |    |     |    |     |   |     |   |     |   |     |   |



# ACCOUNT INVOICE

tampaelectric.com



Account: 211015023339  
Statement Date: 09/30/22

## Details of Charges – Service from 08/23/22 to 09/22/22

Service for: 11562 FOUNTAINHEAD DR, TAMPA, FL 33626-3321

Rate Schedule: General Service - Non Demand

Meter Location: PUMP/LIFT STATION

| Meter Number                                     | Read Date              | Current Reading | Previous Reading | Total Used     | Multiplier | Billing Period |
|--|------------------------|-----------------|------------------|----------------|------------|----------------|
| 1000181268                                       | 09/22/22               | 3,832           | 3,737            | 95 kWh         | 1          | 31 Days        |
| <b>Tampa Electric Usage History</b>              |                        |                 |                  |                |            |                |
| Kilowatt-Hours Per Day (Average)                 |                        |                 |                  |                |            |                |
| SEP 2022   |                        |                 |                  |                |            |                |
| AUG  |                        |                 |                  |                |            |                |
| JUL  |                        |                 |                  |                |            |                |
| JUN  |                        |                 |                  |                |            |                |
| MAY  |                        |                 |                  |                |            |                |
| APR  |                        |                 |                  |                |            |                |
| MAR  |                        |                 |                  |                |            |                |
| FEB  |                        |                 |                  |                |            |                |
| JAN  |                        |                 |                  |                |            |                |
| DEC  |                        |                 |                  |                |            |                |
| NOV  |                        |                 |                  |                |            |                |
| OCT  |                        |                 |                  |                |            |                |
| SEP 2021   |                        |                 |                  |                |            |                |
| Daily Basic Service Charge                       | 31 days @ \$0.75000    |                 |                  | \$23.25        |            |                |
| Energy Charge                                    | 95 kWh @ \$0.07089/kWh |                 |                  | \$6.73         |            |                |
| Fuel Charge                                      | 95 kWh @ \$0.04126/kWh |                 |                  | \$3.92         |            |                |
| Storm Protection Charge                          | 95 kWh @ \$0.00315/kWh |                 |                  | \$0.30         |            |                |
| Clean Energy Transition Mechanism                | 95 kWh @ \$0.00402/kWh |                 |                  | \$0.38         |            |                |
| Florida Gross Receipt Tax                        |                        |                 |                  | \$0.89         |            |                |
| <b>Electric Service Cost</b>                     |                        |                 |                  | <b>\$35.47</b> |            |                |
| State Tax  |                        |                 |                  | \$3.00         |            |                |
| <b>Total Electric Cost, Local Fees and Taxes</b> |                        |                 |                  | <b>\$38.47</b> |            |                |
| <b>Current Month's Electric Charges</b>          |                        |                 |                  | <b>\$38.47</b> |            |                |

Billing information continues on next page




**Account:** 211015023446  
**Statement Date:** 09/30/22

## Details of Charges – Service from 08/23/22 to 09/22/22

Service for: 14572 COTSWOLDS DR, TAMPA, FL 33626-0000

**Rate Schedule: General Service - Non Demand**

Meter Location: PUMP/LIFT STATION

| Meter Number                            | Read Date | Current Reading | -                       | Previous Reading | = | Total Used        | Multiplier  | Billing Period |
|---|-----------|-----------------|-------------------------|------------------|---|-------------------|---|----------------|
| 1000180490                              | 09/22/22  | 8,443           |                         | 8,242            |   | 201 kWh           | 1   | 31 Days        |
| Daily Basic Service Charge              |           |                 | 31 days @ \$0.75000     |                  |   | \$23.25           | <b>Tampa Electric Usage History</b><br><br>Kilowatt-Hours Per Day (Average)<br> |                |
| Energy Charge                           |           |                 | 201 kWh @ \$0.07089/kWh |                  |   | \$14.25           |   |                |
| Fuel Charge                             |           |                 | 201 kWh @ \$0.04126/kWh |                  |   | \$8.29            |   |                |
| Storm Protection Charge                 |           |                 | 201 kWh @ \$0.00315/kWh |                  |   | \$0.63            |   |                |
| Clean Energy Transition Mechanism       |           |                 | 201 kWh @ \$0.00402/kWh |                  |   | \$0.81            |   |                |
| Florida Gross Receipt Tax               |           |                 |                         |                  |   | \$1.21            |   |                |
| <b>Electric Service Cost</b>            |           |                 |                         |                  |   | <b>\$48.44</b>    |   |                |
| <b>Current Month's Electric Charges</b> |           |                 |                         |                  |   | <b>\$48.44</b>    |   |                |
| <b>Total Current Month's Charges</b>    |           |                 |                         |                  |   | <b>\$4,890.95</b> |   |                |

## Important Messages

We've noticed that you have been paying your bill electronically lately. To help cut down on clutter and waste, we are no longer including a remittance envelope with your bill. Should you want to mail in your payment, you can request a payment envelope by calling 813-223-0800 or simply use a regular envelope and address it to TECO P.O. Box 31318, Tampa, Florida 33631-3318.

**ADA Site Compliance**

6400 Boynton Beach Blvd 742721  
Boynton Beach, FL 33474  
accounting@adasitecompliance.com

**Invoice****BILL TO**

Park Place CDD

| INVOICE # | DATE       | TOTAL DUE  | DUE DATE   | TERMS | ENCLOSED |
|-----------|------------|------------|------------|-------|----------|
| 2388      | 09/21/2022 | \$1,700.00 | 10/05/2022 | 14    |          |

| DESCRIPTION  | QTY | RATE     | AMOUNT   |
|--|-----|----------|----------|
| Technological Auditing, Compliance Shield, Customized Accessibility Policy, and Consulting with Accessibility and Compliance Experts | 1   | 1,700.00 | 1,700.00 |

BALANCE DUE

**\$1,700.00**



Charles Aquatics, Inc.

6869 Phillips Parkway Drive South  
Jacksonville, FL 32256  
904-997-0044

Invoice

| Date      | Invoice # |
|-----------|-----------|
| 10/1/2022 | 46275     |

| Due Date  |
|-----------|
| 11/1/2022 |

| Bill To   |
|---|
| Park Place CDD<br>c/o Meritus Corp<br>2005 Pan Am Cir #120<br>Tampa, FL 33607 |

| Vendor # |
|----------|
|          |

| Qty                                   | Description                                  | Rate        | Amount   |
|---------------------------------------|--|-------------|----------|
| 1                                     | Quarterly Fountain Maintenance of 1 fountain | 125.00      | 125.00   |
| Thank you for doing business with us! |  | Balance Due | \$125.00 |

Charles Aquatics, Inc.

6869 Phillips Parkway Drive South  
Jacksonville, FL 32256  
904-997-0044

Invoice

| Date      | Invoice # |
|-----------|-----------|
| 10/1/2022 | 46276     |

| Bill To   |
|---|
| Mandolin Reserve<br>c/o Meritus Corp<br>2005 Pan Am Cir #120<br>Tampa, FL 33607 |

| Due Date   |
|------------|
| 10/31/2022 |

| Vendor # |
|----------|
|          |

| Qty                                  | Description                                  | Rate               | Amount   |
|--------------------------------------|--|--------------------|----------|
| 1                                    | Quarterly Fountain Maintenance of 1 fountain | 125.00             | 125.00   |
| Thank you so much for your business! |  | <b>Balance Due</b> | \$125.00 |



**Florida Department of Economic Opportunity, Special District Accountability Program**  
**FY 2022/2023 Special District Fee Invoice and Update Form**  
 Required by Sections 189.064 and 189.018, Florida Statutes, and Chapter 73C-24, Florida Administrative Code

|                      |                  |                  |   |
|----------------------|------------------|------------------|---|
| Invoice No.: 86588   |                  |                  | Date Invoiced: 10/03/2022                     |
| Annual Fee: \$175.00 | Late Fee: \$0.00 | Received: \$0.00 | Total Due, Postmarked by 12/02/2022: \$175.00 |

**STEP 1:** Review the following information, make changes directly on the form, and sign and date:

**1. Special District's Name, Registered Agent's Name, and Registered Office Address:**



FLORIDA DEPARTMENT of  
ECONOMIC OPPORTUNITY

**Park Place Community Development District**  
 Mr. Brian Lamb  
 2005 Pan Am Circle, Suite 300  
 Tampa, FL 33607

2. Telephone: (813) 397-5121  
 3. Fax: (813) 873-7070  
 4. Email: brian.lamb@inframark.com  
 5. Status: Independent  
 6. Governing Body: Elected  
 7. Website Address: www.parkplacecdd.org  
 8. County(ies): Hillsborough  
 9. Function(s): Community Development  
 10. Boundary Map on File: 12/07/2020  
 11. Creation Document on File: 09/05/2001  
 12. Date Established: 08/24/2001  
 13. Creation Method: Local Ordinance  
 14. Local Governing Authority: Hillsborough County  
 15. Creation Document(s): County Ordinances 01-12 and 08-5  
 16. Statutory Authority: Chapter 190, Florida Statutes  
 17. Authority to Issue Bonds: Yes  
 18. Revenue Source(s): Assessments  
 19. Most Recent Update: 10/05/2021

I do hereby certify that the information above (changes noted if necessary) is accurate and complete as of this date.

Registered Agent's Signature: [Signature] Date 10/6/22

**STEP 2:** Pay the annual fee or certify eligibility for the zero fee:

- a. **Pay the Annual Fee:** Pay the annual fee online by following the instructions at [www.Floridajobs.org/SpecialDistrictFee](http://www.Floridajobs.org/SpecialDistrictFee) or by check payable to the Department of Economic Opportunity.
- b. **Or, Certify Eligibility for the Zero Fee:** By initialing each of the following items, I, the above signed registered agent, do hereby certify that to the best of my knowledge and belief, **ALL** of the following statements contained herein and on any attachments hereto are true, correct, complete, and made in good faith as of this date. I understand that any information I give may be verified.
1. This special district and its Certified Public Accountant determined the special district is not a component unit of a local general-purpose government.
  2. This special district is in compliance with the reporting requirements of the Department of Financial Services.
  3. This special district reported \$3,000 or less in annual revenues to the Department of Financial Services on its Fiscal Year 2020/2021 Annual Financial Report (if created since then, attach an income statement verifying \$3,000 or less in revenues).

Department Use Only: Approved: \_\_\_\_\_ Denied: \_\_\_\_\_ Reason: \_\_\_\_\_

**STEP 3:** Make a copy of this form for your records.

**STEP 4:** Mail this form and payment (if paying by check) to the Department of Economic Opportunity, Bureau of Budget Management, 107 E. Madison Street, MSC 120, Tallahassee, FL 32399-4124. Direct any questions to (850) 717-8430.

[illegible]





# INVOICE

|                         |   |
|-------------------------|---|
| <b>Customer</b>         | Park Place Community Development District |
| <b>Acct #</b>           | 762                                       |
| <b>Date</b>             | 09/14/2022                                |
| <b>Customer Service</b> | Charisse Bitner                           |
| <b>Page</b>             | 1 of 1                                    |

Park Place Community Development District  
c/o Meritus  
2005 Pan Am Circle, Ste 120  
Tampa, FL 33607

| Payment Information    |               |
|------------------------|---------------|
| <b>Invoice Summary</b> | \$ 13,625.00  |
| <b>Payment Amount</b>  |               |
| <b>Payment for:</b>    | Invoice#16913 |
| 100122705              |               |

Thank You

Please detach and return with payment



Customer: Park Place Community Development District

| Invoice | Effective  | Transaction  | Description  | Amount    |
|---------|------------|--------------|--|-----------|
| 16913   | 10/01/2022 | Renew policy | Policy #100122705 10/01/2022-10/01/2023<br>Florida Insurance Alliance<br><br>Package - Renew policy<br>Due Date: 9/14/2022<br><br><i>prop = \$66674.00</i><br><i>gen = \$4746.00</i><br><i>pub = \$2994.00</i> | 13,625.00 |

|  |  |  |  |              |
|--|--|--|--|--------------|
|  |  |  |  | <b>Total</b> |
|  |  |  |  | \$ 13,625.00 |

Thank You

FOR PAYMENTS SENT OVERNIGHT:  
Bank of America Lockbox Services, Lockbox 748555, 6000 Feldwood Rd. College Park, GA 30349

|  |                          |             |
|--|--------------------------|-------------|
| <b>Remit Payment To: Egis Insurance Advisors</b> | (321)233-9939            | <b>Date</b> |
| P.O. Box 748555<br>Atlanta, GA 30374-8555        | sclimer@egisadvisors.com | 09/14/2022  |



# Invoice

| Date      | Invoice # |
|-----------|-----------|
| 9/25/2022 | 2914      |

**MARKETING • DESIGN • PRINTING  
INDOOR / OUTDOOR SIGNS & MORE...**

11749 Crestridge Loop  
Trinity, FL 34655

| Bill To   |
|---|
| Inframark<br>Park Place CDD<br>Attn: Angie Grunwald<br>2005 Pan Am Circle #300<br>Tampa, FL 33607 |

| P.O. No. | Terms |
|----------|-------|
|          |       |

| Item                 | Description  | Qty | Rate   | Amount |
|----------------------|--|-----|--------|--------|
| Printing & Reprod... | Highland Park "Playground Rules Signs" (19x19) hi-intensity reflective black with traffic yellow lettering, metal (.080) sign. Black back. | 2   | 100.00 | 200.00 |
| Install (Signage)    | Install the above on the outside gate with self tapping screws   | 2   | 25.00  | 50.00  |

|                         |          |
|-------------------------|----------|
| <b>Subtotal</b>         | \$250.00 |
| <b>Sales Tax (7.0%)</b> | \$0.00   |
| <b>Total</b>            | \$250.00 |
| <b>Payments/Credits</b> | \$0.00   |
| <b>Balance Due</b>      | \$250.00 |

| Phone #        | Fax #          | E-mail                |
|----------------|----------------|-----------------------|
| (727) 480-6514 | (727) 836-9783 | mike@fcgmarketing.com |





# INVOICE

|                         |   |
|-------------------------|---|
| <b>Customer</b>         | Park Place Community Development District |
| <b>Acct #</b>           | 762                                       |
| <b>Date</b>             | 09/14/2022                                |
| <b>Customer Service</b> | Charisse Bitner                           |
| <b>Page</b>             | 1 of 1                                    |

Park Place Community Development District  
c/o Meritus  
2005 Pan Am Circle, Ste 120  
Tampa, FL 33607

| Payment Information    |               |
|------------------------|---------------|
| <b>Invoice Summary</b> | \$ 13,625.00  |
| <b>Payment Amount</b>  |               |
| <b>Payment for:</b>    | Invoice#16913 |
| 100122705              |               |

Thank You

Please detach and return with payment



Customer: Park Place Community Development District

| Invoice | Effective  | Transaction  | Description   | Amount    |
|---------|------------|--------------|---|-----------|
| 16913   | 10/01/2022 | Renew policy | Policy #100122705 10/01/2022-10/01/2023<br>Florida Insurance Alliance<br><br>Package - Renew policy<br>Due Date: 9/14/2022<br><br><i>prop = \$6674.00</i><br><i>gen = \$4746.00</i><br><i>pub = \$2994.00</i> | 13,625.00 |

|  |  |  |  |              |
|--|--|--|--|--------------|
|  |  |  |  | <b>Total</b> |
|  |  |  |  | \$ 13,625.00 |

Thank You

FOR PAYMENTS SENT OVERNIGHT:  
Bank of America Lockbox Services, Lockbox 748555, 6000 Feldwood Rd. College Park, GA 30349

|  |                          |             |
|--|--------------------------|-------------|
| <b>Remit Payment To: Egis Insurance Advisors</b> | (321)233-9939            | <b>Date</b> |
| P.O. Box 748555<br>Atlanta, GA 30374-8555        | sclimer@egisadvisors.com | 09/14/2022  |



# Invoice

| Date      | Invoice # |
|-----------|-----------|
| 9/25/2022 | 2914      |

**MARKETING • DESIGN • PRINTING  
INDOOR / OUTDOOR SIGNS & MORE...**

11749 Crestridge Loop  
Trinity, FL 34655

| Bill To   |
|---|
| Inframark<br>Park Place CDD<br>Attn: Angie Grunwald<br>2005 Pan Am Circle #300<br>Tampa, FL 33607 |

| P.O. No. | Terms |
|----------|-------|
|          |       |

| Item                 | Description  | Qty | Rate   | Amount |
|----------------------|--|-----|--------|--------|
| Printing & Reprod... | Highland Park "Playground Rules Signs" (19x19) hi-intensity reflective black with traffic yellow lettering, metal (.080) sign. Black back. | 2   | 100.00 | 200.00 |
| Install (Signage)    | Install the above on the outside gate with self tapping screws   | 2   | 25.00  | 50.00  |

|                         |          |
|-------------------------|----------|
| <b>Subtotal</b>         | \$250.00 |
| <b>Sales Tax (7.0%)</b> | \$0.00   |
| <b>Total</b>            | \$250.00 |
| <b>Payments/Credits</b> | \$0.00   |
| <b>Balance Due</b>      | \$250.00 |

| Phone #        | Fax #          | E-mail                |
|----------------|----------------|-----------------------|
| (727) 480-6514 | (727) 836-9783 | mike@fcgmarketing.com |



**Johnson Engineering, Inc.****Remit To:****P.O. Box 2112****Fort Myers, FL 33902****Ph: 239.334.0046**

# Invoice

September 23, 2022

Project No: 20181258-000

Invoice No: 48

FEID #59-1173834

Angie Grunwald

Park Place Community Development District

c/o Meritus Districts, Inc.

2005 Pan AM Circle, Suite 300

Tampa, FL 33607

Project 20181258-000 Park Place CDD

**Professional Services through September 11, 2022**

Phase 01 General Services

**Professional Personnel**

|                    |           |   | Hours | Rate   | Amount          |
|--------------------|-----------|---|-------|--------|-----------------|
| Professional 6     |           |   |       |        |                 |
| Chang, Philip      | 8/8/2022  | Site visit to assess damaged inlet top, prepare exhibit and request quote;  | 2.25  | 190.00 | 427.50          |
| Chang, Philip      | 8/15/2022 | Research CDD ownership limits in HP;  | .25   | 190.00 | 47.50           |
| Chang, Philip      | 8/17/2022 | Review meeting book; attend monthly meeting;  | 2.25  | 190.00 | 427.50          |
| Chang, Philip      | 8/22/2022 | Site visit to verify street sign installation; coordination with conc. curb vendor; request opinion from DC regarding maintenance responsibility;   | 2.00  | 190.00 | 380.00          |
| Chang, Philip      | 8/30/2022 | Coordination with concrete vendor regarding curb repairs;   | .50   | 190.00 | 95.00           |
| Chang, Philip      | 8/31/2022 | Coordination with concrete vendor regarding curb repairs; Coordination with county regarding ROW landscaping on Countryway Blvd; Site visit to observe curb replacement;                  | 2.75  | 190.00 | 522.50          |
| Chang, Philip      | 9/1/2022  | Site visit to observe completed concrete curb; Respond to questions related to resident drainage inquiry;   | 2.00  | 190.00 | 380.00          |
| Chang, Philip      | 9/2/2022  | Site visit to assess PVC pipe concern at Mandolin Reserves exit;  | 1.75  | 190.00 | 332.50          |
| Chang, Philip      | 9/6/2022  | Review quote related to inlet repair and provide input to DM; Review info from HOA regarding R/W maintenance; respond to homeowner complaint regarding irrigation next to vendor repairs; | 1.50  | 190.00 | 285.00          |
| Chang, Philip      | 9/7/2022  | Summarize details of site visit related to issues at Mandolin Reserves exit;  | .75   | 190.00 | 142.50          |
| Chang, Philip      | 9/8/2022  | Site visit to verify completeness of asphalt/curb repairs; Follow-up related to maintenance responsibilities;   | 2.25  | 190.00 | 427.50          |
| Chang, Philip      | 9/9/2022  | Respond to curb drainage issue - Greensleeve; Request quote from vendor; coordinate with vendor related to RVC curb installation;   | .75   | 190.00 | 142.50          |
| Totals             |           |   | 19.00 |        | 3,610.00        |
| <b>Total Labor</b> |           |   |       |        | <b>3,610.00</b> |

|                        |              |                  |                    |            |            |
|------------------------|--------------|------------------|--------------------|------------|------------|
| Project                | 20181258-000 | Park Place CDD   | Invoice            | 48         |            |
|                        |              |                  | Total this Phase   | \$3,610.00 |            |
| -----                  |              |                  |                    |            |            |
| Phase                  | 02           | Special Services |                    |            |            |
| Professional Personnel |              |                  |                    |            |            |
|                        |              |                  | Hours              | Rate       | Amount     |
| Professional 6         |              |                  |                    |            |            |
| Chang, Philip          | 8/22/2022    |                  | .25                | 190.00     | 47.50      |
| Review Requisition 37  |              |                  |                    |            |            |
| Totals                 |              |                  | .25                |            | 47.50      |
| Total Labor            |              |                  |                    |            | 47.50      |
|                        |              |                  | Total this Phase   |            | \$47.50    |
|                        |              |                  | Total this Invoice |            | \$3,657.50 |



Johnson Engineering, Inc.

Remit To:

P.O. Box 2112

Fort Myers, FL 33902

Ph: 239.334.0046

Project Manager Philip Chang

Angie Grunwald  
Park Place Community Development District  
c/o Meritus Districts, Inc.  
2005 Pan AM Circle, Suite 300  
Tampa, FL 33607

# Invoice

October 17, 2022

Project No: 20181258-000

Invoice No: 49

FEID #59-1173834

Project 20181258-000 Park Place CDD

**Professional Services through October 9, 2022**

Phase 01 General Services

## Professional Personnel

|  |           | Hours | Rate   | Amount            |
|--|-----------|-------|--------|-------------------|
| Professional 6   |           |       |        |                   |
| Chang, Philip  | 9/12/2022 | 2.25  | 190.00 | 427.50            |
| Homeowner/curb/drainage issue; Prepare summary for discussion;           |           |       |        |                   |
| Chang, Philip  | 9/15/2022 | 1.25  | 190.00 | 237.50            |
| Review response from HOA attorney re: maintenance & research;            |           |       |        |                   |
| Call with homeowner regarding curb;                                      |           |       |        |                   |
| Chang, Philip  | 9/20/2022 | 1.25  | 190.00 | 237.50            |
| Provide update to DM re: homeowner curb inquiry;                         |           |       |        |                   |
| Prepare exhibit and provide to County re: skip lines on pavement in      |           |       |        |                   |
| median openings on Citrus Park Drive;                                    |           |       |        |                   |
| Chang, Philip  | 9/21/2022 | 2.25  | 190.00 | 427.50            |
| Attend monthly meeting;  |           |       |        |                   |
| Chang, Philip  | 9/22/2022 | 2.25  | 190.00 | 427.50            |
| Call with County regarding striping request on Citrus Park Drive;        |           |       |        |                   |
| Coordination with vendor regarding inlet repairs;                        |           |       |        |                   |
| Site visit to verify completeness of vertical curb install (RVC);        |           |       |        |                   |
| Chang, Philip  | 10/3/2022 | .50   | 190.00 | 95.00             |
| Coordinate stop sign repair; Provide info related to curb repair;        |           |       |        |                   |
| Chang, Philip  | 10/4/2022 | 2.25  | 190.00 | 427.50            |
| Review/research curb drainage inquiry in Mandolin Estates; Site visit to |           |       |        |                   |
| assess/observe paver issues in HP;                                       |           |       |        |                   |
| Coordination related to damaged signage at Race Track Road;              |           |       |        |                   |
| Coordination with vendor related to inlet repairs;                       |           |       |        |                   |
| Chang, Philip  | 10/5/2022 | .25   | 190.00 | 47.50             |
| Discussion with paver vendor;  |           |       |        |                   |
| Chang, Philip  | 10/6/2022 | .75   | 190.00 | 142.50            |
| Review updated inlet top repair quote; Coordination with contractor;     |           |       |        |                   |
| Reach out to County regarding irrigation issue on Citrus Park Drive;     |           |       |        |                   |
| Chang, Philip  | 10/7/2022 | 1.50  | 190.00 | 285.00            |
| Verify completeness of alley curb repair and curb sawcuts (Mandolin      |           |       |        |                   |
| Estates);  |           |       |        |                   |
| Totals   |           | 14.50 |        | 2,755.00          |
| <b>Total Labor</b>   |           |       |        | <b>2,755.00</b>   |
| <b>Total this Phase</b>  |           |       |        | <b>\$2,755.00</b> |

|         |              |                |                           |                   |
|---------|--------------|----------------|---------------------------|-------------------|
| Project | 20181258-000 | Park Place CDD | Invoice                   | 49                |
|         |              |                | <b>Total this Invoice</b> | <b>\$2,755.00</b> |

**Outstanding Invoices**

| Number       | Date      | Balance         |
|--------------|-----------|-----------------|
| 48           | 9/23/2022 | 3,657.50        |
| <b>Total</b> |           | <b>3,657.50</b> |





# Invoice

| Date       | Invoice No. |
|------------|-------------|
| 10/3/2022  | MPP20-1.23  |
| Due Date   |             |
| 10/18/2022 |             |

## Bill To

Park Place CDD  
 PARK PLACE CDD c/o Meritus Corporation  
 Attn. Ms. Angie Grunwald  
 2005 Pan Am Circle, Ste. 120  
 Tampa, FL 33607

**PARK PLACE CDD**  
**(Mandolin Estates, Mandolin Reserve, Windsor Place)**  
**Meetings and Design Services**

Emailed Invoice on October 3, 2022

| DATE OF SERVICE | TASK DESCRIPTION  | BILL RATE | QTY./ HRS. | TOTAL DUE |
|-----------------|---|-----------|------------|-----------|
|                 | PARK PLACE CDD: Mandolin Estates, Mandolin Reserve and Windsor Place<br>CONSTRUCTION DOCUMENT PHASE & CITRUS PARK DRIVE TASKS |           |            |           |
| 8/1/2022        | Project Landscape Designer<br>Setting up for meeting w/ Danny. Met with Danny to get updated pricing for project.             | 85.00     | 2.01667    | 171.42    |
| 8/1/2022        | Project Landscape Designer<br>Answering emails, gathering notes for updated estimate.   | 85.00     | 0.61667    | 52.42     |
| 8/1/2022        | Principal Landscape Architect<br>Meet with Danny on updated pricing for hardscape work.                                       | 157.00    | 1.65       | 259.05    |
| 8/1/2022        | Principal Landscape Architect<br>Talk with Sam about cost estimate breakdowns and missing items.                              | 157.00    | 0.33333    | 52.33     |
| 8/2/2022        | Project Landscape Designer<br>Gathering subcontractor estimates. Spoke with Permacast on options for wall heights.            | 85.00     | 0.95       | 80.75     |
| 8/3/2022        | Project Landscape Designer<br>Gathering estimating materials to updated cost.   | 85.00     | 1.75       | 148.75    |
| 8/3/2022        | Project Landscape Designer<br>Gathering estimating materials. Discussion w/ CRN. Put together updated estimates for Client.   | 85.00     | 5.48333    | 466.08    |
| 8/3/2022        | Project Landscape Designer<br>Finished updating cost estimate. Exported to PDF.   | 85.00     | 0.28333    | 24.08     |
| 8/3/2022        | Principal Landscape Architect<br>Work on QA/QC of cost estimate.  | 157.00    | 1.61667    | 253.82    |

2022

PLEASE MAIL PAYMENTS TO THE FOLLOWING:  
 NICHOLS Landscape Architecture, Inc.  
 P.O. Box 155  
 Lutz, FL 33548

**Total Due**

We appreciate your business!



# Invoice

| Date       | Invoice No. |
|------------|-------------|
| 10/3/2022  | MPP20-1.23  |
| Due Date   |             |
| 10/18/2022 |             |

## Bill To

Park Place CDD  
 PARK PLACE CDD c/o Meritus Corporation  
 Attn. Ms. Angie Grunwald  
 2005 Pan Am Circle, Ste. 120  
 Tampa, FL 33607

**PARK PLACE CDD**  
**(Mandolin Estates, Mandolin Reserve, Windsor Place)**  
**Meetings and Design Services**

Emailed Invoice on October 3, 2022

| DATE OF SERVICE | TASK DESCRIPTION  | BILL RATE | QTY./ HRS. | TOTAL DUE |
|-----------------|---|-----------|------------|-----------|
| 8/3/2022        | Principal Landscape Architect<br>QA/QC final opinion of cost estimate.  | 157.00    | 0.45       | 70.65     |
| 8/10/2022       | Principal Landscape Architect<br>Work on updating cost estimate.  | 157.00    | 1.31667    | 206.72    |
| 8/10/2022       | Principal Landscape Architect<br>Finish up edits to cost estimate. Print to PDF and send to Angie and BH.   | 157.00    | 1.13333    | 177.93    |
| 8/11/2022       | Project Landscape Designer<br>Phone call w/ Permacast in order to obtain a proper wall price.   | 85.00     | 0.13333    | 11.33     |
| 8/11/2022       | Project Landscape Designer<br>Discussion w/ CRN for new direction for job going forward based upon cost. Sent out email regarding foam options. Going over notes to see the progression of stone veneer cost. | 85.00     | 0.71667    | 60.92     |
| 8/11/2022       | Project Landscape Designer<br>Setting up an email for Permacast in order to get a revised quote. Performed take off to double check quantities on wall footage and column count.                              | 85.00     | 0.46667    | 39.67     |
| 8/11/2022       | Project Landscape Designer<br>Sent out email for updated quote from MOT. Sent out an email for request of revised proposal from Permacast. Talked with a foam distributor on wall cap design.                 | 85.00     | 1.23333    | 104.83    |
| 8/11/2022       | Project Landscape Designer<br>Sent out email for updated quote from MOT.  | 85.00     | 0.13333    | 11.33     |
| 8/11/2022       | Principal Landscape Architect<br>Prep and travel and attend meeting with Meritus - Brian and Angie.   | 157.00    | 3.03333    | 476.23    |

2022

PLEASE MAIL PAYMENTS TO THE FOLLOWING:  
 NICHOLS Landscape Architecture, Inc.  
 P.O. Box 155  
 Lutz, FL 33548

**Total Due**

We appreciate your business!





# Invoice

|            |             |
|------------|-------------|
| Date       | Invoice No. |
| 10/3/2022  | MPP20-1.23  |
| Due Date   |             |
| 10/18/2022 |             |

## Bill To

Park Place CDD  
PARK PLACE CDD c/o Meritus Corporation  
Attn. Ms. Angie Grunwald  
2005 Pan Am Circle, Ste. 120  
Tampa, FL 33607

**PARK PLACE CDD**  
**(Mandolin Estates, Mandolin Reserve, Windsor Place)**  
**Meetings and Design Services**

Emailed Invoice on October 3, 2022

| DATE OF SERVICE | TASK DESCRIPTION  | BILL RATE | QTY./ HRS. | TOTAL DUE |
|-----------------|---|-----------|------------|-----------|
| 8/11/2022       | Principal Landscape Architect<br>Call with Permacast to reduce pricing.   | 157.00    | 0.16667    | 26.17     |
| 8/12/2022       | Project Landscape Designer<br>Running estimating exercise with ACP number. Spoke with Tim from ACP to get more clarification on the product.  | 85.00     | 1.53333    | 130.33    |
| 8/12/2022       | Project Landscape Designer<br>Spoke with Acme to get best price for MOT.  | 85.00     | 0.7        | 59.50     |
| 8/16/2022       | Project Landscape Designer<br>Received the bids back from the wall companies. Compared them to each other. Called ACP with questions regarding bid.   | 85.00     | 1.06667    | 90.67     |
| 8/16/2022       | Project Landscape Designer<br>Code research into permit requirements. Creating a schedule of hours needed to complete the job.  | 85.00     | 0.75       | 63.75     |
| 8/16/2022       | Project Landscape Designer<br>Discussion with CRN on estimate changes.  | 85.00     | 0.4        | 34.00     |
| 8/16/2022       | Project Landscape Designer<br>Making changes to estimates per new quotes provided. Working to get best possible price for client.   | 85.00     | 2.51667    | 213.92    |
| 8/16/2022       | Principal Landscape Architect<br>Go over budget numbers for our expenses to complete job with Sam.  | 157.00    | 0.38333    | 60.18     |
| 8/16/2022       | Principal Landscape Architect<br>Work on update to cost estimate with Sam. Work on manhour estimate to build project/ PM providing our CA services. QA/QC estimates. Write up summary and send to BH and Angie. | 157.00    | 3.03333    | 476.23    |

2022

PLEASE MAIL PAYMENTS TO THE FOLLOWING:  
NICHOLS Landscape Architecture, Inc.  
P.O. Box 155  
Lutz, FL 33548

**Total Due**

We appreciate your business!



# Invoice

| Date       | Invoice No. |
|------------|-------------|
| 10/3/2022  | MPP20-1.23  |
| Due Date   |             |
| 10/18/2022 |             |

## Bill To

Park Place CDD  
 PARK PLACE CDD c/o Meritus Corporation  
 Attn. Ms. Angie Grunwald  
 2005 Pan Am Circle, Ste. 120  
 Tampa, FL 33607

**PARK PLACE CDD**  
**(Mandolin Estates, Mandolin Reserve, Windsor Place)**  
**Meetings and Design Services**

Emailed Invoice on October 3, 2022

| DATE OF SERVICE | TASK DESCRIPTION   | BILL RATE | QTY./ HRS. | TOTAL DUE |
|-----------------|--|-----------|------------|-----------|
| 8/17/2022       | Principal Landscape Architect<br>Call with BH to go over his comments from meeting. Send email to County to ask for extension on re-submittal. | 157.00    | 0.4        | 62.80     |
| 8/18/2022       | Project Landscape Designer<br>Email to ACP to get shop drawings of wall.   | 85.00     | 0.16667    | 14.17     |
| 8/18/2022       | Principal Landscape Architect (Non-Billable)<br>Sending emails to track down time frame for resubmittal of 60 days.                            | 157.00    | 0.13333    | 20.93     |
| 8/18/2022       | Principal Landscape Architect<br>Coord. emails with County.  | 157.00    | 0.13333    | 20.93     |
| 8/19/2022       | Principal Landscape Architect<br>Coord. with County via emails on time extension.  | 157.00    | 0.2        | 31.40     |
| 8/22/2022       | Principal Landscape Architect<br>Email replies to Angie and Brian.   | 157.00    | 0.21667    | 34.02     |
| 8/29/2022       | Project Landscape Designer<br>Run through goals for presentation with CRN.   | 85.00     | 0.03333    | 2.83      |
| 8/29/2022       | Project Landscape Designer<br>Look into what is needed for rendering.  | 85.00     | 0.51667    | 43.92     |
| 8/29/2022       | Project Landscape Designer<br>Putting together a list of items needed to do for rendering.   | 85.00     | 1.31667    | 111.92    |
| 8/29/2022       | Principal Landscape Architect<br>Meet with Sam to review graphics to produce for our presentation with Board.                                  | 157.00    | 0.56667    | 88.97     |
| 8/30/2022       | Project Landscape Designer<br>Created section cut in Autocad, looked through photos for best angles. Review original Photoshop files.          | 85.00     | 2.83333    | 240.83    |

2022

PLEASE MAIL PAYMENTS TO THE FOLLOWING:  
 NICHOLS Landscape Architecture, Inc.  
 P.O. Box 155  
 Lutz, FL 33548

**Total Due**

We appreciate your business!





# Invoice

| Date       | Invoice No. |
|------------|-------------|
| 10/3/2022  | MPP20-1.23  |
| Due Date   |             |
| 10/18/2022 |             |

## Bill To

Park Place CDD  
 PARK PLACE CDD c/o Meritus Corporation  
 Attn. Ms. Angie Grunwald  
 2005 Pan Am Circle, Ste. 120  
 Tampa, FL 33607

**PARK PLACE CDD**  
 (Mandolin Estates, Mandolin Reserve, Windsor Place)  
 Meetings and Design Services

Emailed Invoice on October 3, 2022

| DATE OF SERVICE | TASK DESCRIPTION  | BILL RATE | QTY./ HRS. | TOTAL DUE |
|-----------------|---|-----------|------------|-----------|
| 8/30/2022       | Project Landscape Designer<br>Updating Cost estimates showing enhancements only. Finished Windsor.  | 85.00     | 1.73333    | 147.33    |
| 8/30/2022       | Project Landscape Designer<br>Updating cost estimates to show enhancements only. Finished Mandolin Reserve & Estates. Created PDF for CRN review. | 85.00     | 0.95       | 80.75     |
| 8/30/2022       | Project Landscape Designer<br>Finding photos for trees to use in Photoshop rendering.   | 85.00     | 1.93333    | 164.33    |
| 8/31/2022       | Project Landscape Designer<br>Drive to and from site. Took new site photos for elevation renderings.  | 85.00     | 2.65       | 225.25    |
| 8/1/2022        | PROJECT REIMBURSABLE EXPENSES:<br>B/W Digital Plots 24" x 36"   | 5.80      | 5          | 29.00     |
| 8/2/2022        | Plots of HD8, HD1, HD4, HD7, HD8.<br>B/W Print (Bond Paper; Letter or Legal)  | 0.20      | 3          | 0.60      |
| 8/2/2022        | Copies of cost estimate.<br>B/W Print (Bond Paper; Letter or Legal)   | 0.20      | 3          | 0.60      |
| 8/3/2022        | Copies of Signstar's cost estimate.<br>B/W Print (Bond Paper; Letter or Legal)  | 0.20      | 3          | 0.60      |
| 8/3/2022        | Permacast wall quote and tree quote.<br>Color Print (Bond; Letter or Legal)   | 1.00      | 6          | 6.00      |
| 8/3/2022        | Print out estimate.<br>Color Print (Bond; Letter or Legal)  | 1.00      | 16         | 16.00     |
| 8/10/2022       | Prints of estimates.<br>Color Print (Bond; Letter or Legal)   | 1.00      | 4          | 4.00      |
|                 | Print out cost estimate.  |           |            |           |

2022

PLEASE MAIL PAYMENTS TO THE FOLLOWING:  
 NICHOLS Landscape Architecture, Inc.  
 P.O. Box 155  
 Lutz, FL 33548

**Total Due**

We appreciate your business!



# Invoice

|            |             |
|------------|-------------|
| Date       | Invoice No. |
| 10/3/2022  | MPP20-1.23  |
| Due Date   |             |
| 10/18/2022 |             |

## Bill To

Park Place CDD  
 PARK PLACE CDD c/o Meritus Corporation  
 Attn. Ms. Angie Grunwald  
 2005 Pan Am Circle, Ste. 120  
 Tampa, FL 33607

**PARK PLACE CDD**  
**(Mandolin Estates, Mandolin Reserve, Windsor Place)**  
**Meetings and Design Services**

Emailed Invoice on October 3, 2022

| DATE OF SERVICE | TASK DESCRIPTION  | BILL RATE | QTY./ HRS. | TOTAL DUE |
|-----------------|---|-----------|------------|-----------|
| 8/10/2022       | B/W Copies 11" x 17"  | 0.75      | 36         | 27.00     |
| 8/12/2022       | Print out small Construction Plan set for field meeting with Angie. | 2.98      | 2          | 5.96      |
| 8/31/2022       | Color Digital Plots 11" x 17"                                       | 0.585     | 30         | 17.55     |
| 8/11/2022       | Prints of concept work.   | 0.585     | 31         | 18.14     |
|                 | Mileage   |           |            |           |
|                 | Drive to site to take more photos for renderings.                   |           |            |           |
|                 | Mileage   |           |            |           |
|                 | Travel to Meritus office to meet with Client.                       |           |            |           |

PLEASE MAIL PAYMENTS TO THE FOLLOWING:  
 NICHOLS Landscape Architecture, Inc.  
 P.O. Box 155  
 Lutz, FL 33548

**Total Due** \$5,238.89

We appreciate your business!

2022





# INVOICE

Park Place Community Development District  
Attention: Angie Grunwald, District Manager  
c/o Meritus Districts  
2005 Pan Am Circle, Suite 300  
Tampa, FL 33607

DATE: 10/05/22      INVOICE: 10394      PAGE: 1

Job Site: Highland Park  
Job #: 2231120

SALESMAN: Jason Lambert

Job# CONTRACT

## FOR SERVICES RENDERED AT:

Park Place CDD – Highland Park  
14648 Canopy Drive  
Tampa, FL 33626

TRENCH CURB: AS PER CONTRACT

### Payment Due Upon Completion

Original Contract Sum      \$1,250.26

Please Remit Payment To:  
Parking Lot Services

P. O. Box 23125  
Tampa, FL 33623

Tax      \$0.00

Thank You.

Federal I.D. #26-4453072

Due Upon Completion      \$1,250.26

**GO GREEN WITH PLS!**

Site Masters of Florida, LLC  
5551 Bloomfield Blvd.  
Lakeland, FL 33810  
(813)917-9567

---

INVOICE  
#092222-1

To: Park Place CDD  
2005 PanAm Circle, Suite 120  
Tampa, FL 33607

Date: September 22, 2022

Constructed Type D curb adjacent to  
existing valley gutter at northeast corner  
of 11620 Renaissance View Ct.

**TOTAL DUE    \$2,700**



Site Masters of Florida, LLC  
5551 Bloomfield Blvd.  
Lakeland, FL 33810  
(813)917-9567

---

INVOICE  
#102122-1

To: Park Place CDD  
2005 PanAm Circle, Suite 120  
Tampa, FL 33607

Date: October 21, 2022

Removed and re-constructed curb inlet  
top at east corner of Canopy Drive  
and Perfect Place

**TOTAL DUE    \$3,600**

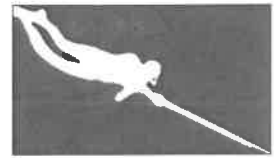
**Spearem Enterprises, LLC**

7842 Land O' Lakes Blvd. #335

Land O' Lakes, FL 34638

+1 8139978101

spearem.jmb@gmail.com

**INVOICE****BILL TO**

Park Place CDD

Meritus

2005 Pan Am Circle, Suite

300

Tampa , FL 33607

**INVOICE # 5448****DATE 09/21/2022****DUE DATE 10/06/2022****TERMS Net 15**

| ACTIVITY  | QTY | RATE   | AMOUNT |
|---|-----|--------|--------|
| <b>Labor</b>  | 1   | 125.00 | 125.00 |
| New Turf at the Park:<br>Removed, Blew Off and hauled away Leaves from said area.<br><br>Please note going forward, cost will be \$35.00 per week/once a week until season changes at which time Leaves may require more than once a week and price will be adjusted accordingly. |     |        |        |

It is anticipated that permits will not be required for the above work, and if required, the associated costs will be added to the price stated below. Any existing conditions that are not reasonably discoverable prior to the job start date, which in anyway interferes with the safe and satisfactory completion of this job, will be corrected by an additional work order and estimate for approval prior to resuming job. Spearem Enterprises, LLC is not responsible for any delays in performance of service that are due in full or in part to circumstances beyond our control. Spearem Enterprises, LLC is not responsible for damage, personal or property damage by others at the job site.  
Whether actual or consequential, or any claim arising out of or relating to "Acts of God".  
Job will Commence within 30 days of receiving signed, approved

**BALANCE DUE****\$125.00**



**Spearem Enterprises, LLC**

7842 Land O' Lakes Blvd. #335

Land O' Lakes, FL 34638

+1 8139978101

spearem.jmb@gmail.com



## INVOICE

**BILL TO**

Park Place CDD

Meritus

2005 Pan Am Circle, Suite

120

Tampa, FL 33607

**INVOICE #** 5461**DATE** 09/30/2022**DUE DATE** 10/15/2022**TERMS** Net 15

| ACTIVITY   | QTY | RATE   | AMOUNT |
|--|-----|--------|--------|
| <b>Labor</b><br>9/10 to 9/30<br>playground bathroom cleaning services 4 weeks at 1<br>time a/week  | 4   | 81.25  | 325.00 |
| <b>Labor</b><br>9/10 to 9/30<br>park fountain maintenance 4 weeks at 1 time a/week   | 4   | 75.00  | 300.00 |
| <b>Labor</b><br>9/10 to 9/30<br>maintain dog waist cans throughout the CDD 17 cans<br>at 1 time a/week for 4 weeks includes bags and<br>muttmits | 4   | 143.50 | 574.00 |
| <b>Material</b><br>toilet paper and hand towels  | 1   | 50.00  | 50.00  |
| <b>Fuel Surcharge</b><br>cost of fuel has went up DRASTICALLY.   | 1   | 50.00  | 50.00  |

It is anticipated that permits will not be required for the above work,  
and if required, the associated  
costs will be added to the price stated below. Any existing  
conditions that are not reasonably discoverable prior to the job start  
date, which in anyway interferes with the safe and satisfactory

**BALANCE DUE****\$1,299.00**

completion of this job, will be corrected by an additional work order and estimate for approval prior to resuming job. Spearem Enterprises, LLC is not responsible for any delays in performance of service that are due in full or in part to circumstances beyond our control. Spearem Enterprises, LLC is not responsible for damage, personal or property damage by others at the job site.

Whether actual or consequential, or any claim arising out of or relating to "Acts of God".

Job will Commence within 30 days of receiving signed, approved proposal-weather permitting.



**Spearem Enterprises, LLC**

7842 Land O' Lakes Blvd. #335

Land O' Lakes, FL 34638

+1 8139978101

spearem.jmb@gmail.com



## INVOICE

**BILL TO**

Park Place CDD

Meritus

2005 Pan Am Circle, Suite

300

Tampa , FL 33607

**INVOICE #** 5490**DATE** 10/25/2022**DUE DATE** 11/09/2022**TERMS** Net 15

| ACTIVITY   | QTY | RATE   | AMOUNT |
|--|-----|--------|--------|
| <b>Labor</b><br>Highland Park:<br>Pressure Wash Playground, Cabana from roof to<br>sidewalks, restrooms and parking area.<br>Cost includes labor, machine time and material. | 1   | 750.00 | 750.00 |

It is anticipated that permits will not be required for the above work, and if required, the associated costs will be added to the price stated below. Any existing conditions that are not reasonably discoverable prior to the job start date, which in anyway interferes with the safe and satisfactory completion of this job, will be corrected by an additional work order and estimate for approval prior to resuming job. Spearem Enterprises, LLC is not responsible for any delays in performance of service that are due in full or in part to circumstances beyond our control. Spearem Enterprises, LLC is not responsible for damage, personal or property damage by others at the job site.

Whether actual or consequential, or any claim arising out of or relating to "Acts of God".

Job will Commence within 30 days of receiving signed, approved proposal-weather permitting.

**BALANCE DUE****\$750.00**

## Spearem Enterprises, LLC

7842 Land O' Lakes Blvd. #335  
Land O' Lakes, FL 34638  
+1 8139978101  
spearem.jmb@gmail.com



## INVOICE

BILL TO  
Park Place CDD  
Meritus  
2005 Pan Am Circle, Suite 120  
Tampa , FL 33607

INVOICE 5504  
DATE 10/25/2022  
TERMS Net 15  
DUE DATE 11/09/2022

| ACTIVITY   | QTY | RATE   | AMOUNT |
|--|-----|--------|--------|
| Labor<br>10/7-10/28/2022<br>playground bathroom cleaning services 4 weeks at 1 time a/week   | 4   | 81.25  | 325.00 |
| Labor<br>10/7-10/28/2022<br>park fountain maintenance 4 weeks at 1 time a/week   | 4   | 75.00  | 300.00 |
| Labor<br>10/7-10/28/2022<br>maintain dog waist cans throughout the CDD 17 cans at 1 time a/week for 4 weeks includes bags and muttmits | 4   | 143.50 | 574.00 |
| Material<br>toilet paper and hand towels   | 1   | 50.00  | 50.00  |
| Fuel Surcharge<br>cost of fuel has went up DRASTICALLY.  | 1   | 50.00  | 50.00  |

It is anticipated that permits will not be required for the above work, and if required, the associated costs will be added to the price stated below. Any existing conditions that are not reasonably discoverable prior to the job start date, which in anyway interferes with the safe and satisfactory completion of this job, will be corrected by an additional work order and estimate for approval prior to resuming job. Spearem Enterprises, LLC is not responsible for any delays in performance of service that are due in full or in part to circumstances beyond our control. Spearem Enterprises, LLC is not responsible for damage, personal or property damage by others at the job site. Whether actual or consequential, or any claim arising out of or relating to "Acts of God". Job will Commence within 30 days of receiving signed, approved proposal-weather permitting.

BALANCE DUE

**\$1,299.00**



## Spearem Enterprises, LLC

7842 Land O' Lakes Blvd. #335  
Land O' Lakes, FL 34638  
+1 8139978101  
spearem.jmb@gmail.com



## INVOICE

BILL TO  
Park Place CDD  
Meritus  
2005 Pan Am Circle, Suite 300  
Tampa , FL 33607

INVOICE 5505  
DATE 10/25/2022  
TERMS Net 15  
DUE DATE 11/09/2022

| ACTIVITY   | QTY | RATE  | AMOUNT |
|--|-----|-------|--------|
| Labor<br>New Turf at the Park:<br>Removed, Blew Off and hauled away Leaves from said area. | 4   | 35.00 | 140.00 |

It is anticipated that permits will not be required for the above work, and if required, the associated costs will be added to the price stated below. Any existing conditions that are not reasonably discoverable prior to the job start date, which in anyway interferes with the safe and satisfactory completion of this job, will be corrected by an additional work order and estimate for approval prior to resuming job. Spearem Enterprises, LLC is not responsible for any delays in performance of service that are due in full or in part to circumstances beyond our control. Spearem Enterprises, LLC is not responsible for damage, personal or property damage by others at the job site. Whether actual or consequential, or any claim arising out of or relating to "Acts of God". Job will Commence within 30 days of receiving signed, approved proposal-weather permitting.

BALANCE DUE

**\$140.00**

# Straley Robin Vericker

1510 W. Cleveland Street

Tampa, FL 33606

Telephone (813) 223-9400

Federal Tax Id. - 20-1778458

Park Place Community Development  
c/o MERITUS DISTRICTS  
2005 PAN AM CIRCLE, SUITE 300  
TAMPA, FL 33607

October 05, 2022

Client: 001365

Matter: 000001

Invoice #: 22064

Page: 1

RE: General

For Professional Services Rendered Through September 15, 2022

## SERVICES

| Date                        | Person | Description of Services  | Hours | Amount   |
|-----------------------------|--------|--|-------|----------|
| 8/16/2022                   | JMV    | REVIEW AGENDA PACKET; TELEPHONE CALL WITH B. HOWELL.   | 0.5   | \$152.50 |
| 9/8/2022                    | JMV    | REVIEW CORRESPONDENCE FROM P. CHANG; TELEPHONE CALL WITH P. CHANG RE: RIGHT-OF-WAY MAINTENANCE; REVIEW PROPERTY RECORDS.                             | 0.6   | \$183.00 |
| 9/9/2022                    | JMV    | REVIEW PROPERTY RECORDS RE: CDD RIGHT-OF-WAY MAINTENANCE; TELEPHONE CALL WITH F. FRISCA; TELEPHONE CALL WITH A. GRUNWOLD; DRAFT EMAIL TO F. FRISCIA. | 1.0   | \$305.00 |
| Total Professional Services |        |  | 2.1   | \$640.50 |



October 05, 2022  
Client: 001365  
Matter: 000001  
Invoice #: 22064

Page: 2

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|                        |          |                 |
|------------------------|----------|-----------------|
| Total Services         | \$640.50 |                 |
| Total Disbursements    | \$0.00   |                 |
| Total Current Charges  |          | \$640.50        |
| Previous Balance       |          | \$216.00        |
| Less Payments          |          | (\$216.00)      |
| <b>PAY THIS AMOUNT</b> |          | <b>\$640.50</b> |

*Please Include Invoice Number on all Correspondence*

# Tampa Bay Times

tampabay.com

Times Publishing Company

DEPT 3396

PO BOX 123396

DALLAS, TX 75312-3396

Toll Free Phone: 1 (877) 321-7355

Fed Tax ID 59-0482470

## ADVERTISING INVOICE

| Advertising Run Dates |                | Advertiser Name  |  |
|-----------------------|----------------|------------------|--|
| 10/12/22              |                | PARK PLACE CDD   |  |
| Billing Date          | Sales Rep      | Customer Account |  |
| 10/12/2022            | Deirdre Bonett | 117357           |  |
| Total Amount Due      |                | Ad Number        |  |
| \$486.50              |                | 0000250956       |  |

## PAYMENT DUE UPON RECEIPT

| Start    | Stop     | Ad Number  | Product      | Placement  | Description<br>PO Number | Ins. | Size   | Net Amount |
|----------|----------|------------|--------------|------------|--------------------------|------|--------|------------|
| 10/12/22 | 10/12/22 | 0000250956 | Times        | Legals CLS | Meeting Schedule         | 1    | 2x58 L | \$484.50   |
| 10/12/22 | 10/12/22 | 0000250956 | Tampabay.com | Legals CLS | Meeting Schedule         | 1    | 2x58 L | \$0.00     |
|          |          |            |              |            | AffidavitMaterial        |      |        | \$2.00     |

PLEASE DETACH AND RETURN LOWER PORTION WITH YOUR REMITTANCE

# Tampa Bay Times

tampabay.com

DEPT 3396

PO BOX 123396

DALLAS, TX 75312-3396

Toll Free Phone: 1 (877) 321-7355

### ADVERTISING INVOICE

Thank you for your business.

| Advertising Run Dates |                | Advertiser Name  |  |
|-----------------------|----------------|------------------|--|
| 10/12/22              |                | PARK PLACE CDD   |  |
| Billing Date          | Sales Rep      | Customer Account |  |
| 10/12/2022            | Deirdre Bonett | 117357           |  |
| Total Amount Due      |                | Ad Number        |  |
| \$486.50              |                | 0000250956       |  |

DO NOT SEND CASH BY MAIL

PLEASE MAKE CHECK PAYABLE TO:

TIMES PUBLISHING COMPANY

PARK PLACE CDD  
ATTN: C/O MERTIUS DISTRICTS  
2005 PAN AM CIRCLE #300  
TAMPA, FL 33607

REMIT TO:

Times Publishing Company  
DEPT 3396  
PO BOX 123396  
DALLAS, TX 75312-3396

Received  
OCT 17 2022




**Tampa Bay Times**  
**Published Daily**

STATE OF FLORIDA  
COUNTY OF Hillsborough

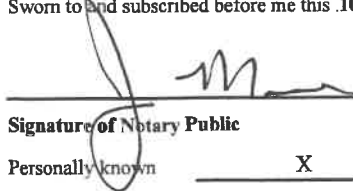
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Before the undersigned authority personally appeared **Deirdre Bonett** who on oath says that he/she is **Legal Advertising Representative** of the **Tampa Bay Times** a daily newspaper printed in St. Petersburg, in Pinellas County, Florida; that the attached copy of advertisement, being a Legal Notice in the matter **RE: Meeting Schedule** was published in said newspaper by print in the issues of: **10/12/22** or by publication on the newspaper's website, if authorized, on

Affiant further says the said **Tampa Bay Times** is a newspaper published in **Hillsborough** County, Florida and that the said newspaper has heretofore been continuously published in said **Hillsborough** County, Florida each day and has been entered as a second class mail matter at the post office in said **Hillsborough** County, Florida for a period of one year next preceding the first publication of the attached copy of advertisement, and affiant further says that he/she neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.



Signature Affiant

Sworn to and subscribed before me this **10/12/2022**


Signature of Notary Public

Personally known ☒ or produced identification

Type of identification produced \_\_\_\_\_

**NOTICE OF REGULAR BOARD MEETING SCHEDULE**  
**FISCAL YEAR 2023**  
**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**

NOTICE IS HEREBY GIVEN that the Board of Supervisors of the Park Place Community Development District has scheduled their Fiscal Year 2023 Regular Board Meetings on the following dates to be held at The Lake House located at 11740 Casa Lago Lane, Tampa, FL 33626:

|                    |            |
|--------------------|------------|
| October 19, 2022   | 11:00 a.m. |
| November 16, 2022  | 11:00 a.m. |
| December 21, 2022  | 11:00 a.m. |
| January 18, 2023   | 11:00 a.m. |
| February 15, 2023  | 11:00 a.m. |
| March 15, 2023     | 11:00 a.m. |
| April 19, 2023     | 11:00 a.m. |
| May 17, 2023       | 11:00 a.m. |
| June 21, 2023      | 11:00 a.m. |
| July 19, 2023      | 11:00 a.m. |
| August 16, 2023    | 11:00 a.m. |
| September 20, 2023 | 11:00 a.m. |

There may be occasions when one or more Supervisors will participate by telephone. At the above location there will be present a speaker telephone so that interested persons can attend the meeting at the above location and be fully informed of the discussions taking place either in person or by telephone communication.

The regular meetings are open to the public and will be conducted in accordance with the provisions of Florida law for community development districts. The regular meetings may be continued to a date, time, and place to be specified on the record at such special meeting.

Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations to participate in these meetings is asked to advise the District Office at (813) 873-7300, at least 48 hours before the meetings. If you are hearing or speech impaired, please contact the Florida Relay Service at 7-1-1, who can aid you in contacting the District Office.

If any person decides to appeal any decision made by the Board with respect to any matter considered at these meetings, such person will need a record of the proceedings and such person may need to ensure that a verbatim record of the proceedings is made, at his or her own expense, and which record includes the testimony and evidence on which the appeal is based.

Angie Grunwald  
District Manager  
Run Date: 10/12/2021

0000250956





## INVOICE

| INVOICE # | INVOICE DATE |
|-----------|--------------|
| TM 439045 | 10/5/2022    |
| TERMS     | PO NUMBER    |
| Net 30    |              |

**Bill To:**

Park Place CDD  
c/o Meritus  
c/o Meritus Communities  
2005 Pan Am Circle, Suite 300  
Tampa, FL 33607

**Remit To:**

Yellowstone Landscape  
PO Box 101017  
Atlanta, GA 30392-1017

**Property Name:** Park Place CDD

**Invoice Due Date:** November 4, 2022

**Invoice Amount:** \$3,213.00

| Description   | Current Amount |
|---|----------------|
| Cost difference for selected Premium priced Annual flowers for Fall 2022 rotation |                |
| Annual Installation   | \$3,213.00     |

**Invoice Total** **\$3,213.00**

*Excellence*

IN COMMERCIAL LANDSCAPING

**Should you have any questions or inquiries please call (386) 437-6211.**



**Spearem Enterprises, LLC**

7842 Land O' Lakes Blvd. #335

Land O' Lakes, FL 34638

+1 8139978101

spearem.jmb@gmail.com



## INVOICE

**BILL TO**

Park Place CDD

Meritus

2005 Pan Am Circle, Suite

300

Tampa , FL 33607

**INVOICE #** 5472**DATE** 10/06/2022**DUE DATE** 10/21/2022**TERMS** Net 15

---

| ACTIVITY   | QTY | RATE  | AMOUNT |
|--|-----|-------|--------|
| <b>Labor</b>   | 2   | 55.00 | 110.00 |
| Ordered and Installed soap dispensers in restrooms that had been vandalized. |     |       |        |

It is anticipated that permits will not be required for the above work, and if required, the associated costs will be added to the price stated below. Any existing conditions that are not reasonably discoverable prior to the job start date, which in anyway interferes with the safe and satisfactory completion of this job, will be corrected by an additional work order and estimate for approval prior to resuming job. Spearem Enterprises, LLC is not responsible for any delays in performance of service that are due in full or in part to circumstances beyond our control. Spearem Enterprises, LLC is not responsible for damage, personal or property damage by others at the job site. Whether actual or consequential, or any claim arising out of or relating to "Acts of God". Job will Commence within 30 days of receiving signed, approved proposal-weather permitting.

**BALANCE DUE****\$110.00**



## INVOICE

| INVOICE # | INVOICE DATE |
|-----------|--------------|
| TM 439044 | 10/5/2022    |
| TERMS     | PO NUMBER    |
| Net 30    |              |

**Bill To:**

Park Place CDD  
c/o Meritus  
c/o Meritus Communities  
2005 Pan Am Circle, Suite 300  
Tampa, FL 33607

**Remit To:**

Yellowstone Landscape  
PO Box 101017  
Atlanta, GA 30392-1017

**Property Name:** Park Place CDD

**Invoice Due Date:** November 4, 2022

**Invoice Amount:** \$725.00

| Description                                  | Current Amount |
|--|----------------|
| Remove Dead Oak Tree - Cotswold Dr.<br>Arbor | \$725.00       |

**Invoice Total** **\$725.00**

*Excellence*  
IN COMMERCIAL LANDSCAPING

**Should you have any questions or inquiries please call (386) 437-6211.**





Proposal #248616  
Date: 09/21/2022  
From: Timothy Bowersox

Proposal For

Park Place CDD

c/o Meritus  
c/o Meritus Communities  
2005 Pan Am Circle, Suite 300  
Tampa, FL 33607

main:  
mobile:

Location

11740 Casa Lago Ln  
Westchase, FL 33607

Property Name: Park Place CDD

Remove Dead Oak Tree - Cotswold Dr.

Terms: Net 30

Remove dead Oak Tree on Cotswold Dr. and grind stump. Includes removal, haul-off and disposal fees.

| DESCRIPTION  | QUANTITY | UNIT PRICE | AMOUNT   |
|--------------|----------|------------|----------|
| Tree Removal | 1.00     | \$725.00   | \$725.00 |

Client Notes

Signature

x *Angie Grunwald*

|           |          |
|-----------|----------|
| SUBTOTAL  | \$725.00 |
| SALES TAX | \$0.00   |
| TOTAL     | \$725.00 |

Signature above authorizes Yellowstone Landscape to perform work as described above and verifies that the prices and specifications are hereby accepted. All overdue balances will be charge a 1.5% a month, 18% annual percentage rate.

Limited Warranty: All plant material is under a limited warranty for one year. Transplanted plant material and/or plant material that dies due to conditions out of Yellowstone Landscape's control (i.e. Acts of God, vandalism, inadequate irrigation due to water restrictions, etc.) shall not be included in the warranty.

Contact

Print Name: Angie Grunwald

Title: District Manager

Date: 9-21-22

Assigned To

Timothy Bowersox

Office:  
tbowersox@yellowstonelandscape.com

# **Park Place Community Development District**

Financial Statements  
(Unaudited)

Period Ending  
October 31, 2022

Prepared by:



2005 Pan Am Circle ~ Suite 300 ~ Tampa, Florida 33607  
Phone (813) 873-7300 ~ Fax (813) 873-7070



**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**

**Balance Sheet**

As of October 31, 2022

*(In Whole Numbers)*

| ACCOUNT DESCRIPTION                          | SERIES 2021-1     |                   | SERIES 2021-2     |                   | SERIES 2021-1         |                       | SERIES 2021-2         |                       | SERIES 2021-1             |                             | SERIES 2021-2               |            |
|--|-------------------|-------------------|-------------------|-------------------|-----------------------|-----------------------|-----------------------|-----------------------|---------------------------|-----------------------------|-----------------------------|------------|
|  | GENERAL FUND      | DEBT SERVICE FUND | DEBT SERVICE FUND | DEBT SERVICE FUND | CAPITAL PROJECTS FUND | CAPITAL PROJECTS FUND | CAPITAL PROJECTS FUND | CAPITAL PROJECTS FUND | GENERAL FIXED ASSETS FUND | GENERAL LONG-TERM DEBT FUND | GENERAL LONG-TERM DEBT FUND | TOTAL      |
| <b>ASSETS</b>                                |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| Cash - Checking Account                      | \$ 584,331        | \$ -              | \$ -              | \$ -              | \$ -                  | \$ -                  | \$ -                  | \$ -                  | \$ -                      | \$ -                        | \$ -                        | \$ 584,331 |
| Accounts Receivable - Other                  | 327               | -                 | -                 | -                 | -                     | -                     | -                     | -                     | -                         | -                           | -                           | 327        |
| Due From Other Funds                         | -                 | 2,211             | 2,701             | -                 | -                     | -                     | -                     | -                     | -                         | -                           | -                           | 4,912      |
| Investments:                                 |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| Acquisition & Construction Account           | -                 | -                 | -                 | -                 | 1,516                 | 170                   | -                     | -                     | -                         | -                           | -                           | 1,686      |
| Construction Fund                            | -                 | -                 | -                 | -                 | 863,192               | 169,954               | -                     | -                     | -                         | -                           | -                           | 1,033,146  |
| Interest Account                             | -                 | 1,875             | 2,630             | -                 | -                     | -                     | -                     | -                     | -                         | -                           | -                           | 4,505      |
| Revenue Fund                                 | -                 | 43,445            | 71,390            | -                 | -                     | -                     | -                     | -                     | -                         | -                           | -                           | 114,835    |
| Deposits                                     | 10,777            | -                 | -                 | -                 | -                     | -                     | -                     | -                     | -                         | -                           | -                           | 10,777     |
| Fixed Assets                                 |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| Land & Improvements                          | -                 | -                 | -                 | -                 | -                     | -                     | -                     | -                     | 1,861,517                 | -                           | -                           | 1,861,517  |
| Improvements Other Than Buildings (IOTB)     | -                 | -                 | -                 | -                 | -                     | -                     | -                     | -                     | 10,095,559                | -                           | -                           | 10,095,559 |
| Recreational Facilities                      | -                 | -                 | -                 | -                 | -                     | -                     | -                     | -                     | 592,636                   | -                           | -                           | 592,636    |
| Construction Work In Process                 | -                 | -                 | -                 | -                 | -                     | -                     | -                     | -                     | 501,945                   | -                           | -                           | 501,945    |
| Amount Avail In Debt Services                | -                 | -                 | -                 | -                 | -                     | -                     | -                     | -                     | -                         | 423,204                     | -                           | 423,204    |
| Amount To Be Provided                        | -                 | -                 | -                 | -                 | -                     | -                     | -                     | -                     | -                         | 5,376,041                   | -                           | 5,376,041  |
| <b>TOTAL ASSETS</b>                          | <b>\$ 595,435</b> | <b>\$ 47,531</b>  | <b>\$ 76,721</b>  | <b>\$ 864,708</b> | <b>\$ 170,124</b>     | <b>\$ 13,051,657</b>  | <b>\$ 5,799,245</b>   | <b>\$ 20,605,421</b>  |                           |                             |                             |            |
|  |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| <b>LIABILITIES</b>                           |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| Accounts Payable                             | \$ 29,206         | \$ -              | \$ -              | \$ -              | \$ -                  | \$ -                  | \$ -                  | \$ -                  | \$ -                      | \$ -                        | \$ -                        | \$ 29,206  |
| Bonds Payable                                | -                 | -                 | -                 | -                 | -                     | -                     | -                     | -                     | -                         | 5,799,245                   | -                           | 5,799,245  |
| Due To Other Funds                           | 4,912             | -                 | -                 | -                 | -                     | -                     | -                     | -                     | -                         | -                           | -                           | 4,912      |
| <b>TOTAL LIABILITIES</b>                     | <b>34,118</b>     | <b>-</b>          | <b>-</b>          | <b>-</b>          | <b>-</b>              | <b>-</b>              | <b>-</b>              | <b>-</b>              | <b>-</b>                  | <b>5,799,245</b>            | <b>5,833,363</b>            |            |
|  |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| <b>FUND BALANCES</b>                         |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| Restricted for:                              |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| Debt Service                                 | -                 | 47,531            | 76,721            | -                 | -                     | -                     | -                     | -                     | -                         | -                           | -                           | 124,252    |
| Capital Projects                             | -                 | -                 | -                 | 864,708           | 170,124               | -                     | -                     | -                     | -                         | -                           | -                           | 1,034,832  |
| Unassigned:                                  | 561,317           | -                 | -                 | -                 | -                     | -                     | -                     | -                     | 13,051,657                | -                           | -                           | 13,612,974 |
| <b>TOTAL FUND BALANCES</b>                   | <b>\$ 561,317</b> | <b>\$ 47,531</b>  | <b>\$ 76,721</b>  | <b>\$ 864,708</b> | <b>\$ 170,124</b>     | <b>\$ 13,051,657</b>  | <b>\$ -</b>           | <b>\$ 14,772,058</b>  |                           |                             |                             |            |
|  |                   |                   |                   |                   |                       |                       |                       |                       |                           |                             |                             |            |
| <b>TOTAL LIABILITIES &amp; FUND BALANCES</b> | <b>\$ 595,435</b> | <b>\$ 47,531</b>  | <b>\$ 76,721</b>  | <b>\$ 864,708</b> | <b>\$ 170,124</b>     | <b>\$ 13,051,657</b>  | <b>\$ 5,799,245</b>   | <b>\$ 20,605,421</b>  |                           |                             |                             |            |

**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
**For the Period Ending October 31, 2022**  
General Fund - Admin (001)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION                    | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|--|-----------------------------|------------------------|-----------------------------|--|
| <b>REVENUES</b>                        |                             |                        |                             |  |
| Special Assmnts- Tax Collector         | \$ 130,644                  | \$ 1,071               | \$ (129,573)                | 0.82%                                  |
| <b>TOTAL REVENUES</b>                  | <b>130,644</b>              | <b>1,071</b>           | <b>(129,573)</b>            | <b>0.82%</b>                           |
| <b>EXPENDITURES</b>                    |                             |                        |                             |  |
| <b>Administration</b>                  |                             |                        |                             |  |
| Supervisor Fees                        | 12,000                      | 600                    | 11,400                      | 5.00%                                  |
| ProfServ-Arbitrage Rebate              | 650                         | -                      | 650                         | 0.00%                                  |
| ProfServ-Trustee Fees                  | 8,000                       | -                      | 8,000                       | 0.00%                                  |
| District Counsel                       | 4,000                       | 1,739                  | 2,261                       | 43.48%                                 |
| District Engineer                      | 8,184                       | 2,755                  | 5,429                       | 33.66%                                 |
| Accounting Services                    | 31,000                      | 2,583                  | 28,417                      | 8.33%                                  |
| Auditing Services                      | 7,400                       | -                      | 7,400                       | 0.00%                                  |
| Contracts-Mgmt Services                | 52,000                      | 4,833                  | 47,167                      | 9.29%                                  |
| Website Compliance                     | 1,500                       | -                      | 1,500                       | 0.00%                                  |
| Public Officials Insurance             | 2,785                       | -                      | 2,785                       | 0.00%                                  |
| Legal Advertising                      | 850                         | 487                    | 363                         | 57.29%                                 |
| Bank Fees                              | 300                         | -                      | 300                         | 0.00%                                  |
| Postage and Resident Notices           | 300                         | 67                     | 233                         | 22.33%                                 |
| Website Administration                 | 1,500                       | 125                    | 1,375                       | 8.33%                                  |
| Dues, Licenses, Subscriptions          | 175                         | 175                    | -                           | 100.00%                                |
| <b>Total Administration</b>            | <b>130,644</b>              | <b>13,364</b>          | <b>117,280</b>              | <b>10.23%</b>                          |
| <b>TOTAL EXPENDITURES</b>              | <b>130,644</b>              | <b>13,364</b>          | <b>117,280</b>              | <b>10.23%</b>                          |
| <b>Excess (deficiency) of revenues</b> |                             |                        |                             |  |
| <b>Over (under) expenditures</b>       | <b>\$ -</b>                 | <b>\$ (12,293)</b>     | <b>\$ (12,293)</b>          | <b>0.00%</b>                           |



**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
**For the Period Ending October 31, 2022**  
General Fund - Highland Park (001)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION                             | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|---|-----------------------------|------------------------|-----------------------------|--|
| <b><u>REVENUES</u></b>                          |                             |                        |                             |  |
| Special Assmnts- Tax Collector                  | \$ 288,519                  | \$ 2,384               | \$ (286,135)                | 0.83%                                  |
| <b>TOTAL REVENUES</b>                           | <b>288,519</b>              | <b>2,384</b>           | <b>(286,135)</b>            | <b>0.83%</b>                           |
| <b><u>EXPENDITURES</u></b>                      |                             |                        |                             |  |
| <b><u>Utility Services</u></b>                  |                             |                        |                             |  |
| Utility - Water                                 | 5,900                       | -                      | 5,900                       | 0.00%                                  |
| Utility - Electric                              | 5,000                       | 97                     | 4,903                       | 1.94%                                  |
| <b>Total Utility Services</b>                   | <b>10,900</b>               | <b>97</b>              | <b>10,803</b>               | <b>0.89%</b>                           |
| <b><u>Other Physical Environment</u></b>        |                             |                        |                             |  |
| Contracts-Aquatic Control                       | 19,500                      | 1,620                  | 17,880                      | 8.31%                                  |
| Storm Drain Maintenance                         | 5,000                       | 2,700                  | 2,300                       | 54.00%                                 |
| Insurance - General Liability                   | 3,200                       | -                      | 3,200                       | 0.00%                                  |
| R&M-Other Landscape                             | -                           | 544                    | (544)                       | 0.00%                                  |
| R&M-Pressure Washing                            | 7,500                       | -                      | 7,500                       | 0.00%                                  |
| Landscape Maint. - Highland Park Contract       | 83,050                      | 6,870                  | 76,180                      | 8.27%                                  |
| Landscape Maint. - Racetrack Road Contract      | 17,000                      | 1,440                  | 15,560                      | 8.47%                                  |
| Plant Replacement Program                       | 18,500                      | 2,410                  | 16,090                      | 13.03%                                 |
| Miscellaneous Maintenance                       | 3,000                       | -                      | 3,000                       | 0.00%                                  |
| Irrigation Maintenance                          | 15,000                      | 2,000                  | 13,000                      | 13.33%                                 |
| Entry & Walls Maintenance                       | 1,500                       | -                      | 1,500                       | 0.00%                                  |
| Aquatic Maintenance                             | 6,000                       | -                      | 6,000                       | 0.00%                                  |
| <b>Total Other Physical Environment</b>         | <b>179,250</b>              | <b>17,584</b>          | <b>161,666</b>              | <b>9.81%</b>                           |
| <b><u>Road and Street Facilities</u></b>        |                             |                        |                             |  |
| R&M-Sidewalks                                   | 6,000                       | -                      | 6,000                       | 0.00%                                  |
| R&M-Streetlights                                | 4,500                       | -                      | 4,500                       | 0.00%                                  |
| Decorative Light Maintenance                    | 5,000                       | -                      | 5,000                       | 0.00%                                  |
| Pavement and Signage Repairs                    | 5,000                       | 2,194                  | 2,806                       | 43.88%                                 |
| Holiday Lighting & Decorations                  | 15,000                      | -                      | 15,000                      | 0.00%                                  |
| <b>Total Road and Street Facilities</b>         | <b>35,500</b>               | <b>2,194</b>           | <b>33,306</b>               | <b>6.18%</b>                           |
| <b><u>Parks and Recreation</u></b>              |                             |                        |                             |  |
| Contract - Park Facility Janitorial Maintenance | 3,100                       | -                      | 3,100                       | 0.00%                                  |
| Off Duty Sheriff's Deputies                     | 1,500                       | -                      | 1,500                       | 0.00%                                  |
| R&M-Fountain                                    | 3,500                       | 94                     | 3,406                       | 2.69%                                  |
| Park Facility Maint. & Improvement              | 1,867                       | 1,724                  | 143                         | 92.34%                                 |

**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
**For the Period Ending October 31, 2022**  
General Fund - Highland Park (001)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION                          | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|--|-----------------------------|------------------------|-----------------------------|--|
| <b>Total Parks and Recreation</b>            | 9,967                       | 1,818                  | 8,149                       | 18.24%                                 |
| <b><u>Reserves</u></b>                       |                             |                        |                             |  |
| Capital Reserve                              | 31,070                      | -                      | 31,070                      | 0.00%                                  |
| <b>Total Reserves</b>                        | 31,070                      | -                      | 31,070                      | 0.00%                                  |
| <b>TOTAL EXPENDITURES &amp; RESERVES</b>     | <b>266,687</b>              | <b>21,693</b>          | <b>244,994</b>              | <b>8.13%</b>                           |
| <b>Excess (deficiency) of revenues</b>       |                             |                        |                             |  |
| <b>Over (under) expenditures</b>             | 21,832                      | (19,309)               | (41,141)                    | -88.44%                                |
| <b><u>OTHER FINANCING SOURCES (USES)</u></b> |                             |                        |                             |  |
| Transfer Out - Capital Reserve               | (21,832)                    | -                      | 21,832                      | 0.00%                                  |
| <b>TOTAL FINANCING SOURCES (USES)</b>        | <b>(21,832)</b>             | <b>-</b>               | <b>21,832</b>               | <b>0.00%</b>                           |
| <b>Net change in fund balance</b>            | <b>\$ -</b>                 | <b>\$ (19,309)</b>     | <b>\$ (19,309)</b>          | <b>0.00%</b>                           |



**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
**For the Period Ending October 31, 2022**  
General Fund - Windsor / Mandolin (001)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION            | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|--------------------------------|-----------------------------|------------------------|-----------------------------|--|
| <b>REVENUES</b>                |                             |                        |                             |  |
| Special Assmnts- Tax Collector | \$ 215,224                  | \$ 1,765               | \$ (213,459)                | 0.82%                                  |
| <b>TOTAL REVENUES</b>          | <b>215,224</b>              | <b>1,765</b>           | <b>(213,459)</b>            | <b>0.82%</b>                           |

**EXPENDITURES**

**Utility Services**

|                               |               |              |               |               |
|-------------------------------|---------------|--------------|---------------|---------------|
| Utility - Water               | 600           | 74           | 526           | 12.33%        |
| Utility - Electric            | 38,000        | 5,504        | 32,496        | 14.48%        |
| <b>Total Utility Services</b> | <b>38,600</b> | <b>5,578</b> | <b>33,022</b> | <b>14.45%</b> |

**Other Physical Environment**

|   |                |               |                |              |
|---|----------------|---------------|----------------|--------------|
| Contracts-Aquatic Control               | 12,000         | 1,000         | 11,000         | 8.33%        |
| Storm Drain Maintenance                 | 3,500          | -             | 3,500          | 0.00%        |
| Insurance - General Liability           | 4,693          | -             | 4,693          | 0.00%        |
| R&M-Other Landscape                     | 6,300          | -             | 6,300          | 0.00%        |
| R&M-Pressure Washing                    | 6,000          | -             | 6,000          | 0.00%        |
| Landscape Maintenance                   | 85,000         | 12,811        | 72,189         | 15.07%       |
| Entry/Gate/Walls Maintenance            | 3,500          | -             | 3,500          | 0.00%        |
| Plant Replacement Program               | 9,000          | -             | 9,000          | 0.00%        |
| Irrigation Maintenance                  | 8,000          | -             | 8,000          | 0.00%        |
| Aquatic Maintenance                     | 5,000          | -             | 5,000          | 0.00%        |
| Capital Improvements                    | 13,000         | -             | 13,000         | 0.00%        |
| <b>Total Other Physical Environment</b> | <b>155,993</b> | <b>13,811</b> | <b>142,182</b> | <b>8.85%</b> |

**Road and Street Facilities**

|   |               |          |               |              |
|---|---------------|----------|---------------|--------------|
| R&M-Sidewalks                           | 4,431         | -        | 4,431         | 0.00%        |
| Decorative Light Maintenance            | 3,000         | -        | 3,000         | 0.00%        |
| Pavement and Signage Repairs            | 2,000         | -        | 2,000         | 0.00%        |
| Holiday Lighting & Decorations          | 7,000         | -        | 7,000         | 0.00%        |
| <b>Total Road and Street Facilities</b> | <b>16,431</b> | <b>-</b> | <b>16,431</b> | <b>0.00%</b> |

**Parks and Recreation**

|                                   |              |            |              |              |
|-----------------------------------|--------------|------------|--------------|--------------|
| Off Duty Sheriff's Deputies       | 1,500        | -          | 1,500        | 0.00%        |
| Gate Phone                        | 2,700        | 252        | 2,448        | 9.33%        |
| R&M-Fountain                      | -            | 125        | (125)        | 0.00%        |
| <b>Total Parks and Recreation</b> | <b>4,200</b> | <b>377</b> | <b>3,823</b> | <b>8.98%</b> |

**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
**For the Period Ending October 31, 2022**  
General Fund - Windsor / Mandolin (001)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION             | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|---------------------------------|-----------------------------|------------------------|-----------------------------|--|
| <b>TOTAL EXPENDITURES</b>       | <b>215,224</b>              | <b>19,766</b>          | <b>195,458</b>              | <b>9.18%</b>                           |
| Excess (deficiency) of revenues |                             |                        |                             |  |
| Over (under) expenditures       | -                           | (18,001)               | (18,001)                    | 0.00%                                  |



**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending October 31, 2022  
General Fund - Mixed Use (001)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION                             | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|---|-----------------------------|------------------------|-----------------------------|--|
| <b><u>REVENUES</u></b>                          |                             |                        |                             |  |
| Special Assmnts- Tax Collector                  | \$ 75,458                   | \$ 619                 | \$ (74,839)                 | 0.82%                                  |
| <b>TOTAL REVENUES</b>                           | <b>75,458</b>               | <b>619</b>             | <b>(74,839)</b>             | <b>0.82%</b>                           |
| <b><u>EXPENDITURES</u></b>                      |                             |                        |                             |  |
| <b><u>Utility Services</u></b>                  |                             |                        |                             |  |
| Utility - Water                                 | 2,000                       | -                      | 2,000                       | 0.00%                                  |
| Utility - Electric                              | 1,650                       | 32                     | 1,618                       | 1.94%                                  |
| <b>Total Utility Services</b>                   | <b>3,650</b>                | <b>32</b>              | <b>3,618</b>                | <b>0.88%</b>                           |
| <b><u>Other Physical Environment</u></b>        |                             |                        |                             |  |
| Contracts-Aquatic Control                       | 6,500                       | 540                    | 5,960                       | 8.31%                                  |
| Storm Drain Maintenance                         | 650                         | 900                    | (250)                       | 138.46%                                |
| Insurance - General Liability                   | 2,500                       | -                      | 2,500                       | 0.00%                                  |
| R&M-Other Landscape                             | 1,000                       | 181                    | 819                         | 18.10%                                 |
| R&M-Pressure Washing                            | 2,200                       | -                      | 2,200                       | 0.00%                                  |
| Landscape Maint. - Highland Park Contract       | 26,000                      | 2,290                  | 23,710                      | 8.81%                                  |
| Landscape Maint. - Racetrack Road Contract      | 6,000                       | 480                    | 5,520                       | 8.00%                                  |
| Landscape Install/Maint-Racetrack Rd            | 1,000                       | -                      | 1,000                       | 0.00%                                  |
| Entry/Gate/Walls Maintenance                    | 1,000                       | -                      | 1,000                       | 0.00%                                  |
| Plant Replacement Program                       | 5,500                       | 803                    | 4,697                       | 14.60%                                 |
| Miscellaneous Maintenance                       | 1,500                       | -                      | 1,500                       | 0.00%                                  |
| Irrigation Maintenance                          | 5,000                       | 667                    | 4,333                       | 13.34%                                 |
| Aquatic Maintenance                             | 1,500                       | -                      | 1,500                       | 0.00%                                  |
| <b>Total Other Physical Environment</b>         | <b>60,350</b>               | <b>5,861</b>           | <b>54,489</b>               | <b>9.71%</b>                           |
| <b><u>Road and Street Facilities</u></b>        |                             |                        |                             |  |
| R&M-Sidewalks                                   | 2,000                       | -                      | 2,000                       | 0.00%                                  |
| R&M-Streetlights                                | 1,383                       | -                      | 1,383                       | 0.00%                                  |
| Decorative Light Maintenance                    | 1,000                       | -                      | 1,000                       | 0.00%                                  |
| Pavement and Signage Repairs                    | 1,500                       | 731                    | 769                         | 48.73%                                 |
| Holiday Lighting & Decorations                  | 3,125                       | -                      | 3,125                       | 0.00%                                  |
| <b>Total Road and Street Facilities</b>         | <b>9,008</b>                | <b>731</b>             | <b>8,277</b>                | <b>8.12%</b>                           |
| <b><u>Parks and Recreation</u></b>              |                             |                        |                             |  |
| Contract - Park Facility Janitorial Maintenance | 950                         | -                      | 950                         | 0.00%                                  |
| R&M-Fountain                                    | 1,000                       | 31                     | 969                         | 3.10%                                  |
| Park Facility Maint. & Improvement              | 500                         | 575                    | (75)                        | 115.00%                                |

**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending October 31, 2022  
General Fund - Mixed Use (001)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION             | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|---------------------------------|-----------------------------|------------------------|-----------------------------|--|
| Total Parks and Recreation      | 2,450                       | 606                    | 1,844                       | 24.73%                                 |
| <b>TOTAL EXPENDITURES</b>       | <b>75,458</b>               | <b>7,230</b>           | <b>68,228</b>               | <b>9.58%</b>                           |
| Excess (deficiency) of revenues |                             |                        |                             |  |
| Over (under) expenditures       | -                           | (6,611)                | (6,611)                     | 0.00%                                  |

**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending October 31, 2022  
Series 2021-1 Debt Service Fund (202)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION  | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|--|-----------------------------|------------------------|-----------------------------|--|
| <b><u>REVENUES</u></b>                                       |                             |                        |                             |  |
| Interest - Investments                                       | \$ -                        | \$ 73                  | \$ 73                       | 0.00%                                  |
| Special Assmnts- Tax Collector                               | 594,703                     | 2,211                  | (592,492)                   | 0.37%                                  |
| <b>TOTAL REVENUES</b>  | <b>594,703</b>              | <b>2,284</b>           | <b>(592,419)</b>            | <b>0.38%</b>                           |
| <b><u>EXPENDITURES</u></b>                                   |                             |                        |                             |  |
| <b><u>Debt Service</u></b>                                   |                             |                        |                             |  |
| Principal Debt Retirement                                    | 476,000                     | -                      | 476,000                     | 0.00%                                  |
| Interest Expense   | 118,703                     | -                      | 118,703                     | 0.00%                                  |
| <b>Total Debt Service</b>                                    | <b>594,703</b>              | <b>-</b>               | <b>594,703</b>              | <b>0.00%</b>                           |
| <b>TOTAL EXPENDITURES</b>                                    | <b>594,703</b>              | <b>-</b>               | <b>594,703</b>              | <b>0.00%</b>                           |
| Excess (deficiency) of revenues<br>Over (under) expenditures | -                           | 2,284                  | 2,284                       | 0.00%                                  |
| Net change in fund balance                                   | \$ -                        | \$ 2,284               | \$ 2,284                    | 0.00%                                  |
| <b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b>                 | <b>45,247</b>               | <b>45,247</b>          |                             |  |
| <b>FUND BALANCE, ENDING</b>                                  | <b>\$ 45,247</b>            | <b>\$ 47,531</b>       |                             |  |



**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending October 31, 2022  
Series 2021-2 Debt Service Fund (203)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION  | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|--|-----------------------------|------------------------|-----------------------------|--|
| <b><u>REVENUES</u></b>                                       |                             |                        |                             |  |
| Interest - Investments                                       | \$ -                        | \$ 120                 | \$ 120                      | 0.00%                                  |
| Special Assmnts- Tax Collector                               | -                           | 2,701                  | 2,701                       | 0.00%                                  |
| <b>TOTAL REVENUES</b>  | <b>-</b>                    | <b>2,821</b>           | <b>2,821</b>                | <b>0.00%</b>                           |
| <b><u>EXPENDITURES</u></b>                                   |                             |                        |                             |  |
| <b>TOTAL EXPENDITURES</b>                                    | <b>-</b>                    | <b>-</b>               | <b>-</b>                    | <b>0.00%</b>                           |
| Excess (deficiency) of revenues<br>Over (under) expenditures | -                           | 2,821                  | 2,821                       | 0.00%                                  |
| Net change in fund balance                                   | \$ -                        | \$ 2,821               | \$ 2,821                    | 0.00%                                  |
| <b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b>                 | <b>-</b>                    | <b>73,900</b>          |                             |  |
| <b>FUND BALANCE, ENDING</b>                                  | <b>\$ -</b>                 | <b>\$ 76,721</b>       |                             |  |

**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending October 31, 2022  
Series 2021-1 Capital Projects Fund (302)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION                          | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|--|-----------------------------|------------------------|-----------------------------|--|
| <b><u>REVENUES</u></b>                       |                             |                        |                             |  |
| Interest - Investments                       | \$ -                        | \$ 1,516               | \$ 1,516                    | 0.00%                                  |
| <b>TOTAL REVENUES</b>                        | <b>-</b>                    | <b>1,516</b>           | <b>1,516</b>                | <b>0.00%</b>                           |
| <b><u>EXPENDITURES</u></b>                   |                             |                        |                             |  |
| <b>TOTAL EXPENDITURES</b>                    | <b>-</b>                    | <b>-</b>               | <b>-</b>                    | <b>0.00%</b>                           |
| Excess (deficiency) of revenues              |                             |                        |                             |  |
| Over (under) expenditures                    | -                           | 1,516                  | 1,516                       | 0.00%                                  |
| Net change in fund balance                   | \$ -                        | \$ 1,516               | \$ 1,516                    | 0.00%                                  |
| <b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b> | <b>-</b>                    | <b>863,192</b>         |                             |  |
| <b>FUND BALANCE, ENDING</b>                  | <b>\$ -</b>                 | <b>\$ 864,708</b>      |                             |  |

**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending October 31, 2022  
Series 2021-2 Capital Projects Fund (303)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION                          | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|--|-----------------------------|------------------------|-----------------------------|--|
| <b>REVENUES</b>                              |                             |                        |                             |  |
| Interest - Investments                       | \$ -                        | \$ 170                 | \$ 170                      | 0.00%                                  |
| <b>TOTAL REVENUES</b>                        | <b>-</b>                    | <b>170</b>             | <b>170</b>                  | <b>0.00%</b>                           |
| <b>EXPENDITURES</b>                          |                             |                        |                             |  |
| <b>TOTAL EXPENDITURES</b>                    | <b>-</b>                    | <b>-</b>               | <b>-</b>                    | <b>0.00%</b>                           |
| Excess (deficiency) of revenues              |                             |                        |                             |  |
| Over (under) expenditures                    | -                           | 170                    | 170                         | 0.00%                                  |
| Net change in fund balance                   | \$ -                        | \$ 170                 | \$ 170                      | 0.00%                                  |
| <b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b> | <b>-</b>                    | <b>169,954</b>         |                             |  |
| <b>FUND BALANCE, ENDING</b>                  | <b>\$ -</b>                 | <b>\$ 170,124</b>      |                             |  |



**PARK PLACE COMMUNITY DEVELOPMENT DISTRICT**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending October 31, 2022  
General Fixed Assets Fund (900)  
*(In Whole Numbers)*

| ACCOUNT DESCRIPTION  | ANNUAL<br>ADOPTED<br>BUDGET | YEAR TO DATE<br>ACTUAL | VARIANCE (\$)<br>FAV(UNFAV) | YTD ACTUAL<br>AS A % OF<br>ADOPTED BUD |
|--|-----------------------------|------------------------|-----------------------------|--|
| <b><u>REVENUES</u></b>                                       |                             |                        |                             |  |
| <b>TOTAL REVENUES</b>  | -                           | -                      | -                           | <b>0.00%</b>                           |
| <b><u>EXPENDITURES</u></b>                                   |                             |                        |                             |  |
| <b>TOTAL EXPENDITURES</b>                                    | -                           | -                      | -                           | <b>0.00%</b>                           |
| Excess (deficiency) of revenues<br>Over (under) expenditures | -                           | -                      | -                           | 0.00%                                  |
| Net change in fund balance                                   | \$ -                        | \$ -                   | \$ -                        | 0.00%                                  |
| <b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b>                 | -                           | 13,051,657             |                             |  |
| <b>FUND BALANCE, ENDING</b>                                  | <b>\$ -</b>                 | <b>\$ 13,051,657</b>   |                             |  |

# PARK PLACE CDD

## Bank Reconciliation

Bank Account No. 1794 Wells Fargo - GF Operating  
Statement No. 10-22  
Statement Date 10/31/2022

|                      |            |                      |            |
|----------------------|------------|----------------------|------------|
| G/L Balance (LCY)    | 584,331.31 | Statement Balance    | 626,336.96 |
| G/L Balance          | 584,331.31 | Outstanding Deposits | 50.00      |
| Positive Adjustments | 0.00       |                      |            |
|                      |            | Subtotal             | 626,386.96 |
| Subtotal             | 584,331.31 | Outstanding Checks   | 42,055.65  |
| Negative Adjustments | 0.00       | Differences          | 0.00       |
|                      |            |                      |            |
| Ending G/L Balance   | 584,331.31 | Ending Balance       | 584,331.31 |
|                      |            |                      |            |
| Difference           | 0.00       |                      |            |

| Posting Date                    | Document Type | Document No. | Description                           | Amount    | Cleared Amount | Difference |       |
|---------------------------------|---------------|--------------|---------------------------------------|-----------|----------------|------------|-------|
| Outstanding Checks              |               |              |                                       |           |                |            |       |
| 9/30/2022                       |               | JE000019     | Outstanding check# 6340; Erica Lavina | 200.00    | 0.00           | 200.00     |       |
| 10/20/2022                      | Payment       | 6505         | CATHY POWELL                          | 200.00    | 0.00           | 200.00     |       |
| 10/20/2022                      | Payment       | 6506         | DAVID L. LEVY                         | 200.00    | 0.00           | 200.00     |       |
| 10/20/2022                      | Payment       | 6507         | ERICA LAVINA                          | 200.00    | 0.00           | 200.00     |       |
| 10/26/2022                      | Payment       | 6508         | ADA SITE COMPLIANCE                   | 1,700.00  | 0.00           | 1,700.00   |       |
| 10/26/2022                      | Payment       | 6509         | BOCC - HILLSBOROUGH COUNTY            | 254.29    | 0.00           | 254.29     |       |
| 10/26/2022                      | Payment       | 6510         | CHARLES AQUATICS INC                  | 125.00    | 0.00           | 125.00     |       |
| 10/26/2022                      | Payment       | 6511         | DON HARRISON ENTERPRISES LLC          | 350.00    | 0.00           | 350.00     |       |
| 10/26/2022                      | Payment       | 6513         | JOHNSON ENGINEERING, INC.             | 6,412.50  | 0.00           | 6,412.50   |       |
| 10/26/2022                      | Payment       | 6514         | SPEAREM ENTERPRISES                   | 1,424.00  | 0.00           | 1,424.00   |       |
| 10/26/2022                      | Payment       | 6515         | STRALEY ROBIN VERICKER                | 640.50    | 0.00           | 640.50     |       |
| 10/26/2022                      | Payment       | 6517         | TIMES PUBLISHING COM                  | 486.50    | 0.00           | 486.50     |       |
| 10/28/2022                      | Payment       | 6519         | ANDREA R. JACKSON                     | 200.00    | 0.00           | 200.00     |       |
| 10/28/2022                      | Payment       | 6520         | BOCC - HILLSBOROUGH COUNTY            | 89.53     | 0.00           | 89.53      |       |
| 10/28/2022                      | Payment       | 6521         | CATHY POWELL                          | 200.00    | 0.00           | 200.00     |       |
| 10/28/2022                      | Payment       | 6522         | CHARLES AQUATICS INC                  | 125.00    | 0.00           | 125.00     |       |
| 10/28/2022                      | Payment       | 6523         | CYPRESS CREEK AQUATICS, INC.          | 3,160.00  | 0.00           | 3,160.00   |       |
| 10/28/2022                      | Payment       | 6524         | DEPARTMENT OF ECONOMIC OPPORTY        | 175.00    | 0.00           | 175.00     |       |
| 10/28/2022                      | Payment       | 6525         | ERICA LAVINA                          | 200.00    | 0.00           | 200.00     |       |
| 10/28/2022                      | Payment       | 6526         | FRONTIER                              | 237.77    | 0.00           | 237.77     |       |
| 10/28/2022                      | Payment       | 6527         | NICHOLS LANDSCAPE ARCHITECTURE        | 5,238.89  | 0.00           | 5,238.89   |       |
| 10/28/2022                      | Payment       | 6530         | SPEAREM ENTERPRISES                   | 860.00    | 0.00           | 860.00     |       |
| 10/28/2022                      | Payment       | 6532         | YELLOWSTONE LANDSCAPE                 | 19,376.67 | 0.00           | 19,376.67  |       |
| Total Outstanding Checks.....   |               |              |                                       | 42,055.65 |                | 42,055.65  |       |
| Outstanding Deposits            |               |              |                                       |           |                |            |       |
| 9/30/2022                       |               | JE000024     | Deposit Doc# 510                      | G/L       | 50.00          | 0.00       | 50.00 |
| Total Outstanding Deposits..... |               |              |                                       | 50.00     |                | 50.00      |       |